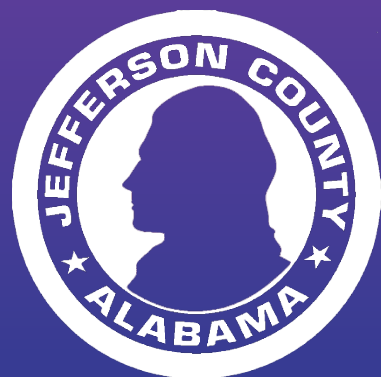


JEFFERSON COUNTY

FORWARD TOGETHER

COMPREHENSIVE PLAN





PROJECT OVERVIEW

WHY UPDATE THE COMPREHENSIVE PLAN?

- IDENTIFY COMMUNITY VALUES
- ESTABLISH A COHESIVE VISION
- SET GOALS AND DEVELOP STRATEGIES

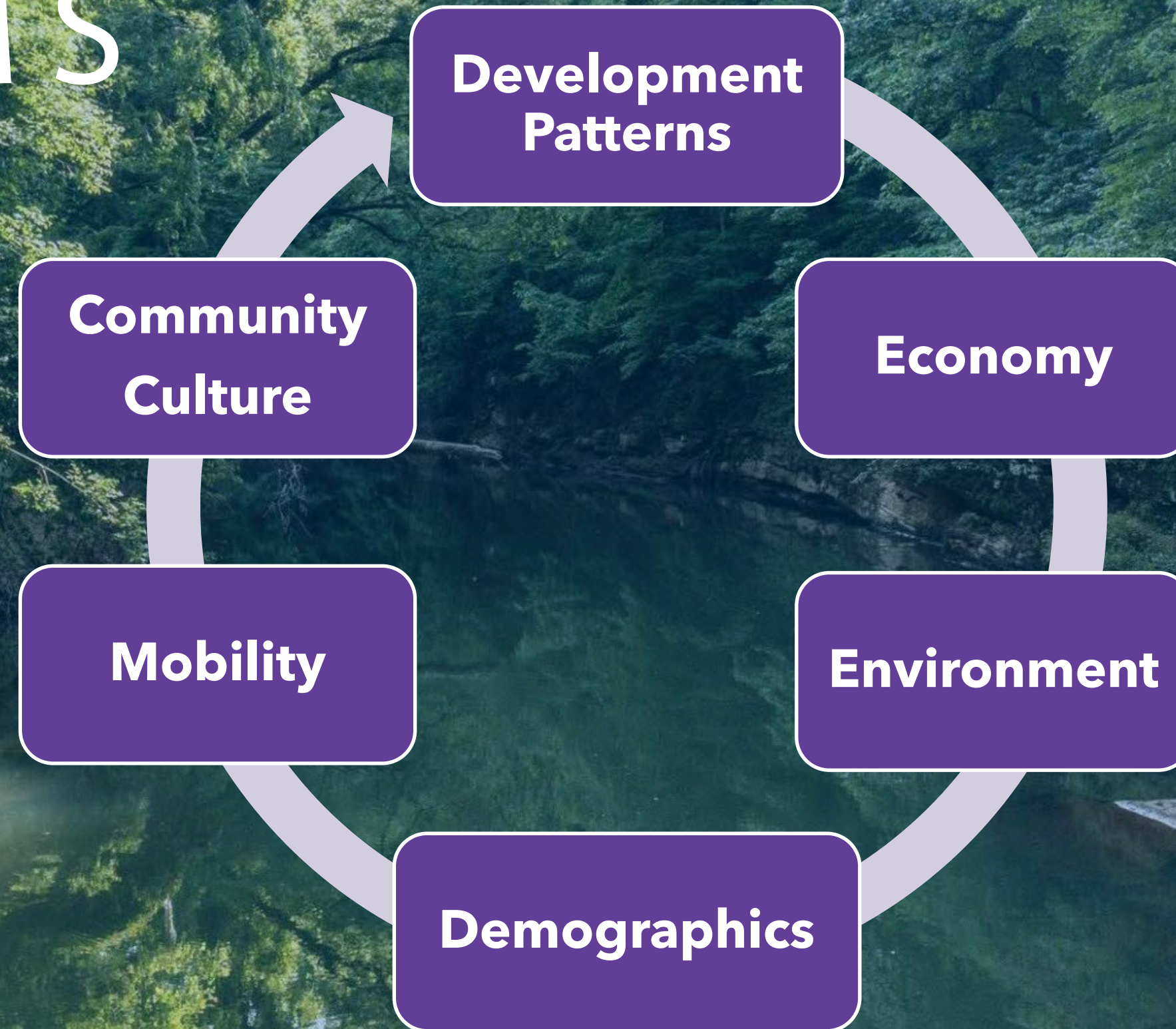
- Define where and how growth should occur in the future
- Protect community character and heritage
- Access available funding to get things done

JEFFERSON COUNTY COMPREHENSIVE PLAN



A New Direction

INTERCONNECTED SYSTEMS



PROJECT SCOPE

1. COMMUNITY ANALYSIS AND PROFILE

- Project Kickoff and Logistics
- Creation of PEP
- Collection of Background Information
- Physical Analysis
- Growth Projections and Build-Out Scenario
- **Housing and Economic Analysis**
- Development of Comprehensive Community Profile
- **Online Engagement**
- **Public Workshops and Stakeholder Meetings**

PROJECT SCOPE

2. CONCEPT PLAN DEVELOPMENT

- Establish Guiding Principles
- Scenario Planning
- Placetype Analysis
- Development Recommendations
- Infrastructure Planning
- Travel Demand Model Update Coordination
- Mobility Recommendations
- Future Land Use Map
- Implementation Strategies
- Public Workshops and Stakeholder Meetings

PROJECT SCOPE

3. COMPREHENSIVE PLAN DOCUMENT

- Draft Comp Plan Creation
- Presentation of Draft Plan to the Advisory Committee
- Presentation of Draft Plan to the P&Z Commission
- Plan Finalization

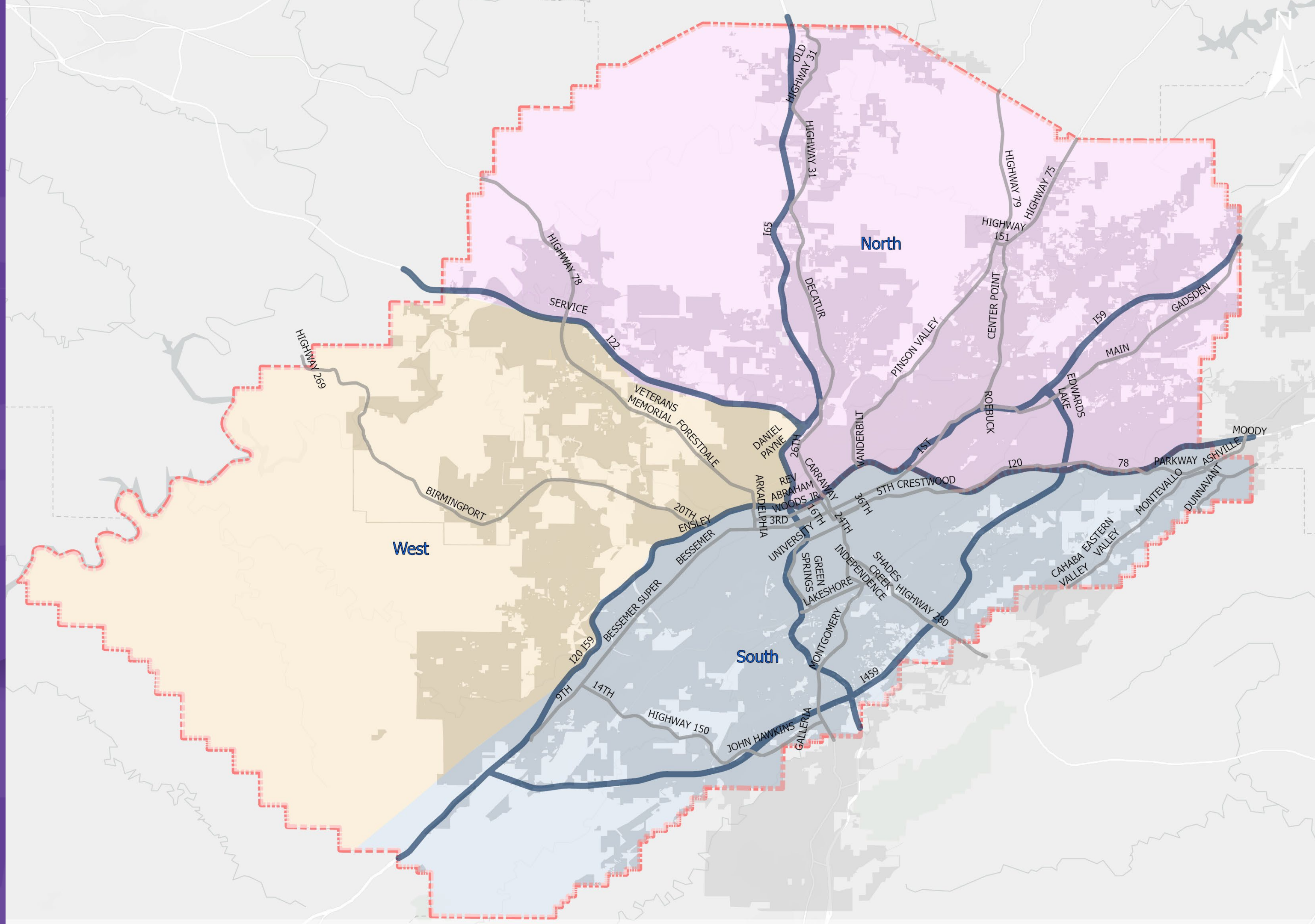


- Key Dates:
 - Discovery Week: July 31-Aug 4
 - Planning Week: Nov 6-9
 - Plan Finalization: April, 2024

	2023				2024			
	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
COMMUNITY ANALYSIS AND PROFILE								
Project Kickoff and Logistics								
Creation of PEP								
Creation of Background Information								
Physical Analysis								
Growth Projections and Build-Out Scenario								
Housing and Economic Analysis								
Development of Comprehensive Community Profile								
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Future Land Use Map								
Implementation Strategies								
Public Workshops and Stakeholder Meetings				★				
COMPREHENSIVE PLAN DOCUMENT								
Draft Comp Plan Creation								
Presentation to Advisory Committee								
Presentation to P&Z Committee								
Presentation to Commission								
Plan Finalization								

PROJECT SCHEDULE

SUBAREAS

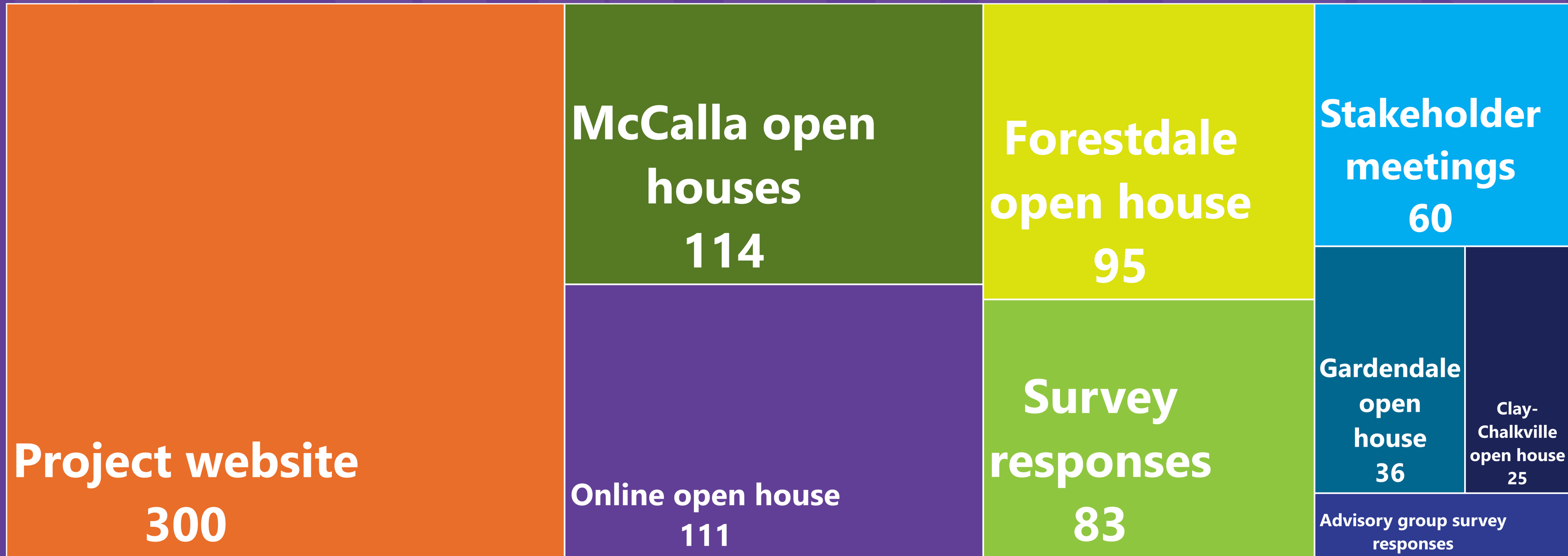




PUBLIC INPUT SUMMARY AND DEMOGRAPHICS

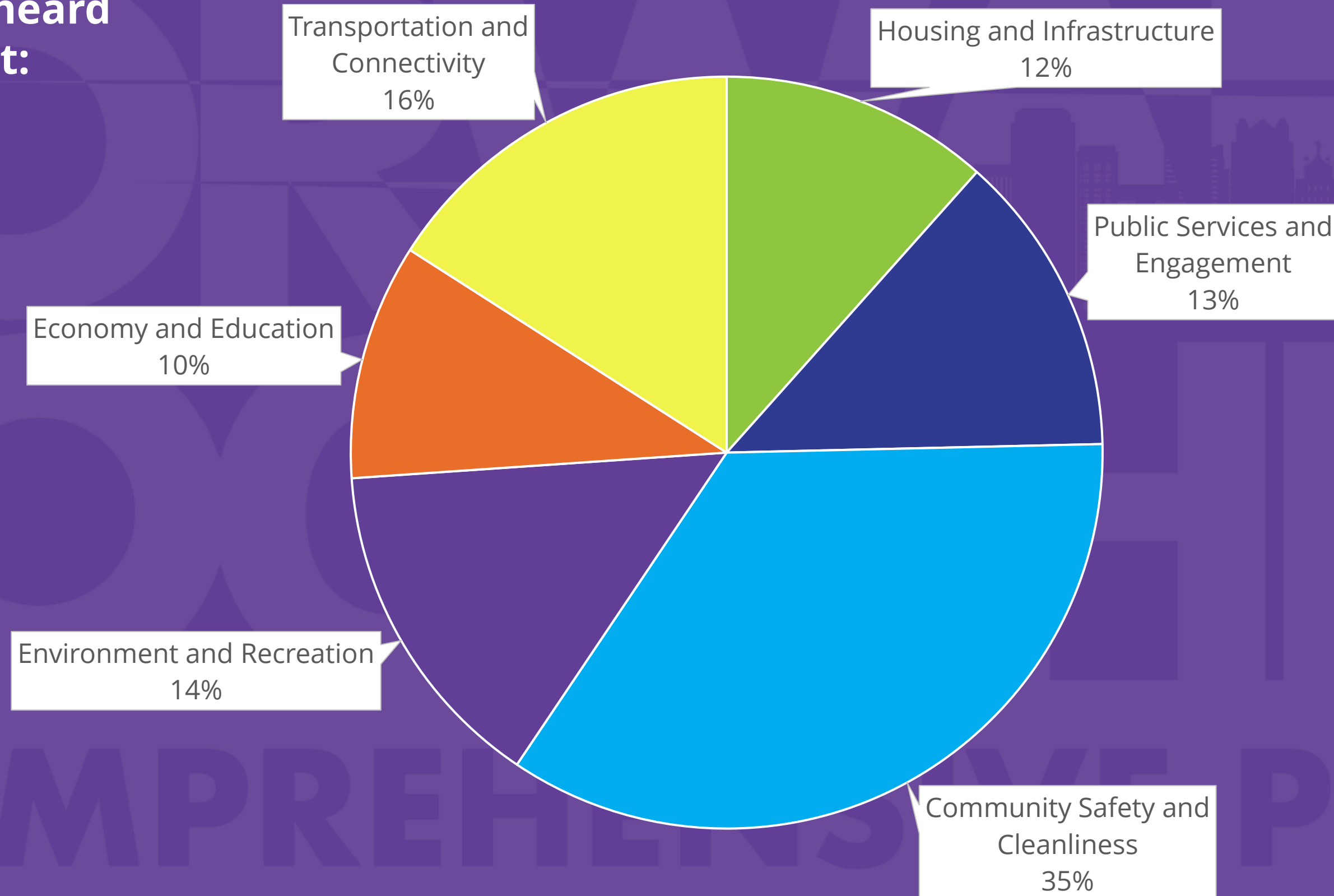
PUBLIC INPUT

What touchpoints have we seen so far?

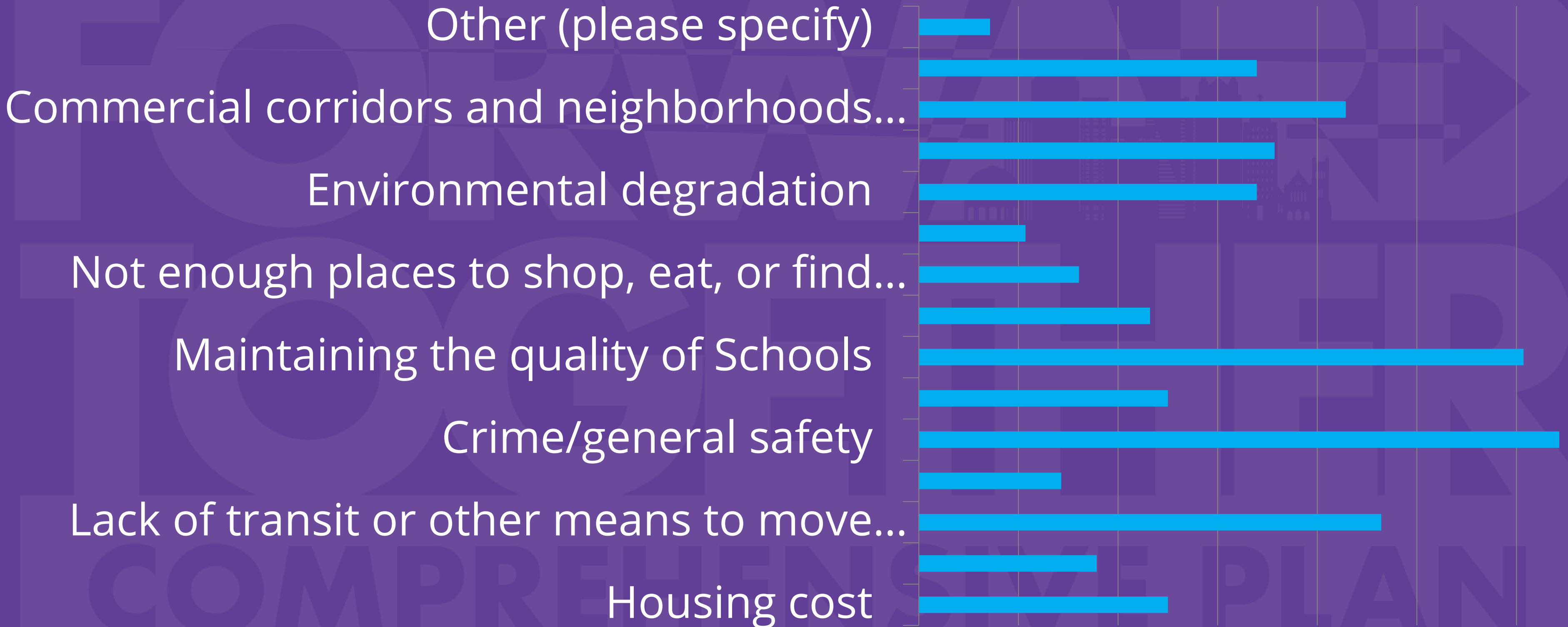


OPEN HOUSE RESULTS

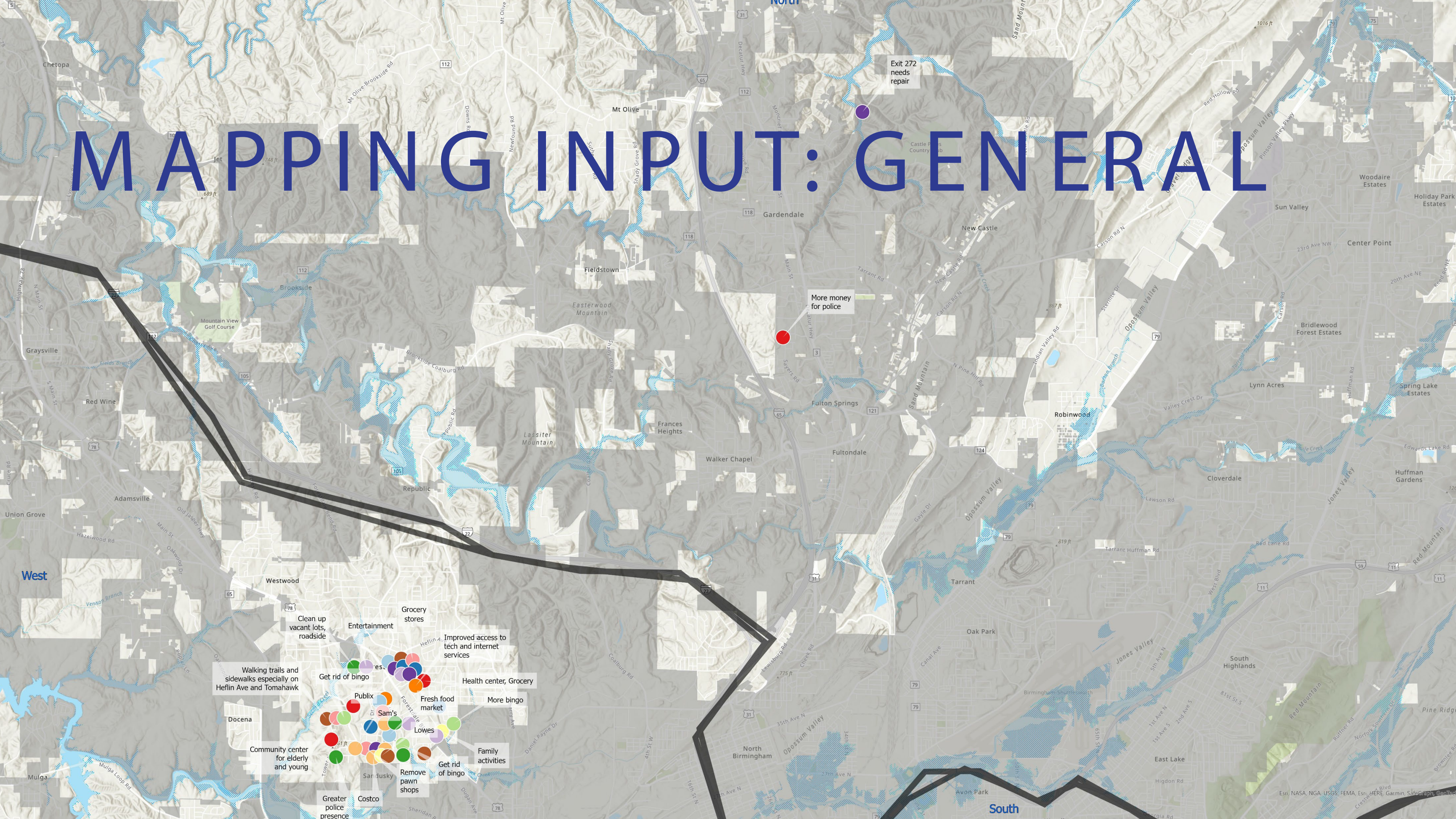
Topics we heard about most:



What is the biggest challenge facing Jefferson County in the next 20 years? Please select up to five answers.



MAPPING INPUT: GENERAL



Exit 272
needs
repair

More money
for police

Walking trails and
sidewalks especially on
Heflin Ave and Tomahawk

Clean up
vacant lots,
roadside

Entertainment

Grocery
stores

Improved access to
tech and internet
services

Health center, Grocery

Publix

Sam's

Forestville

Lowes

Remove
pawn shops

Family
activities

Get rid of
bingo

Community center
for elderly
and young

Greater
police
presence

Costco

Sandusky

Remove
pawn shops

Get rid of
bingo

South

West

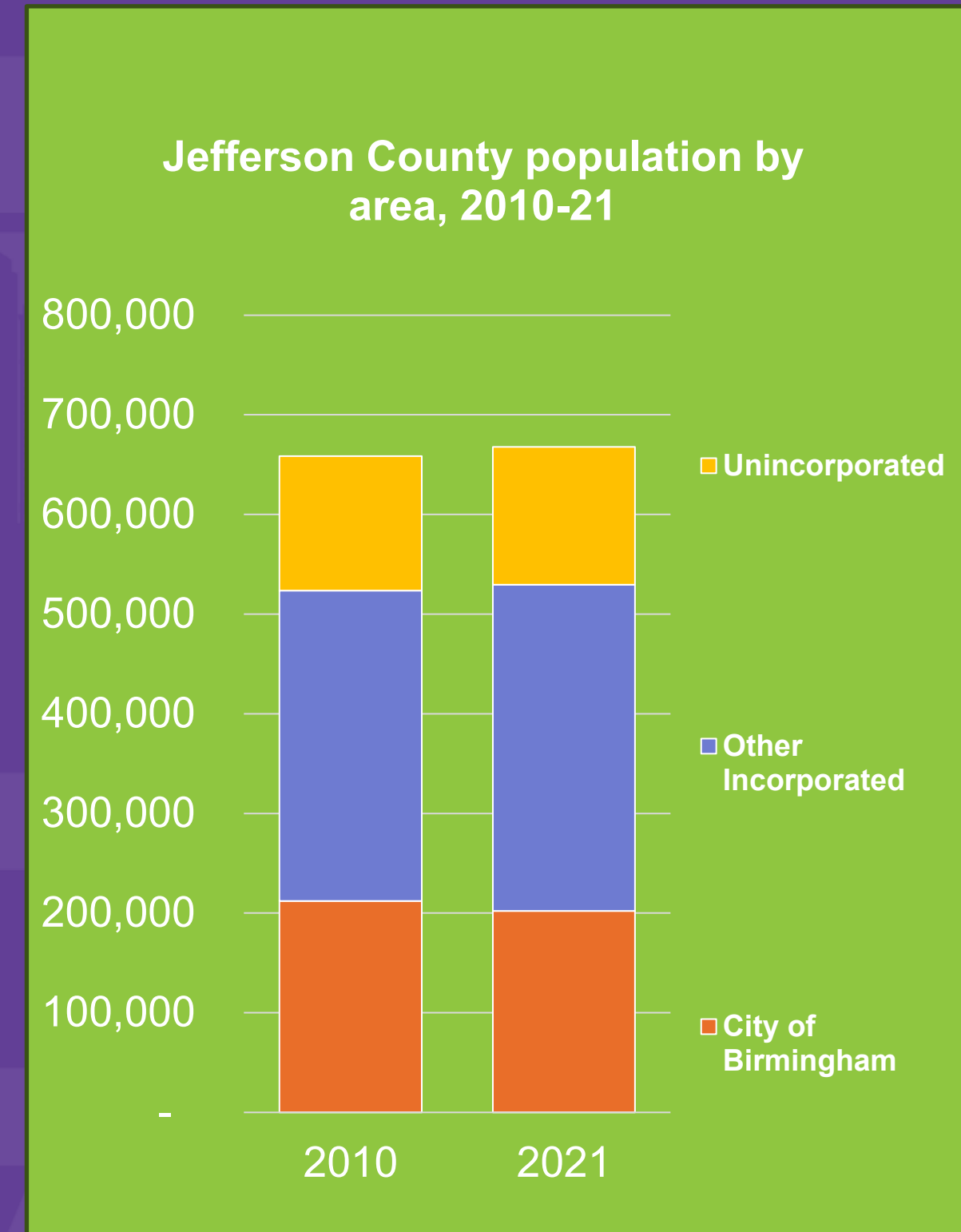
Our Forward Together Mission

- Developing and redeveloping vibrant and thriving activity centers and corridors;
- Promoting high quality economic opportunity and job creation for the 21st century;
- Accommodating market-oriented housing needs including workforce housing;
- Expanding well managed natural conservation, preservation, and parks areas;
- Facilitating agricultural and rural living environments of character and quality;
- Promoting a well-connected mobility infrastructure including streets, greenways, trails, and blueways;
- Creating focused growth through quality walkable neighborhoods; and
- Coordinating with allied organizations and entities for mission supportive, cost effective, and efficient management

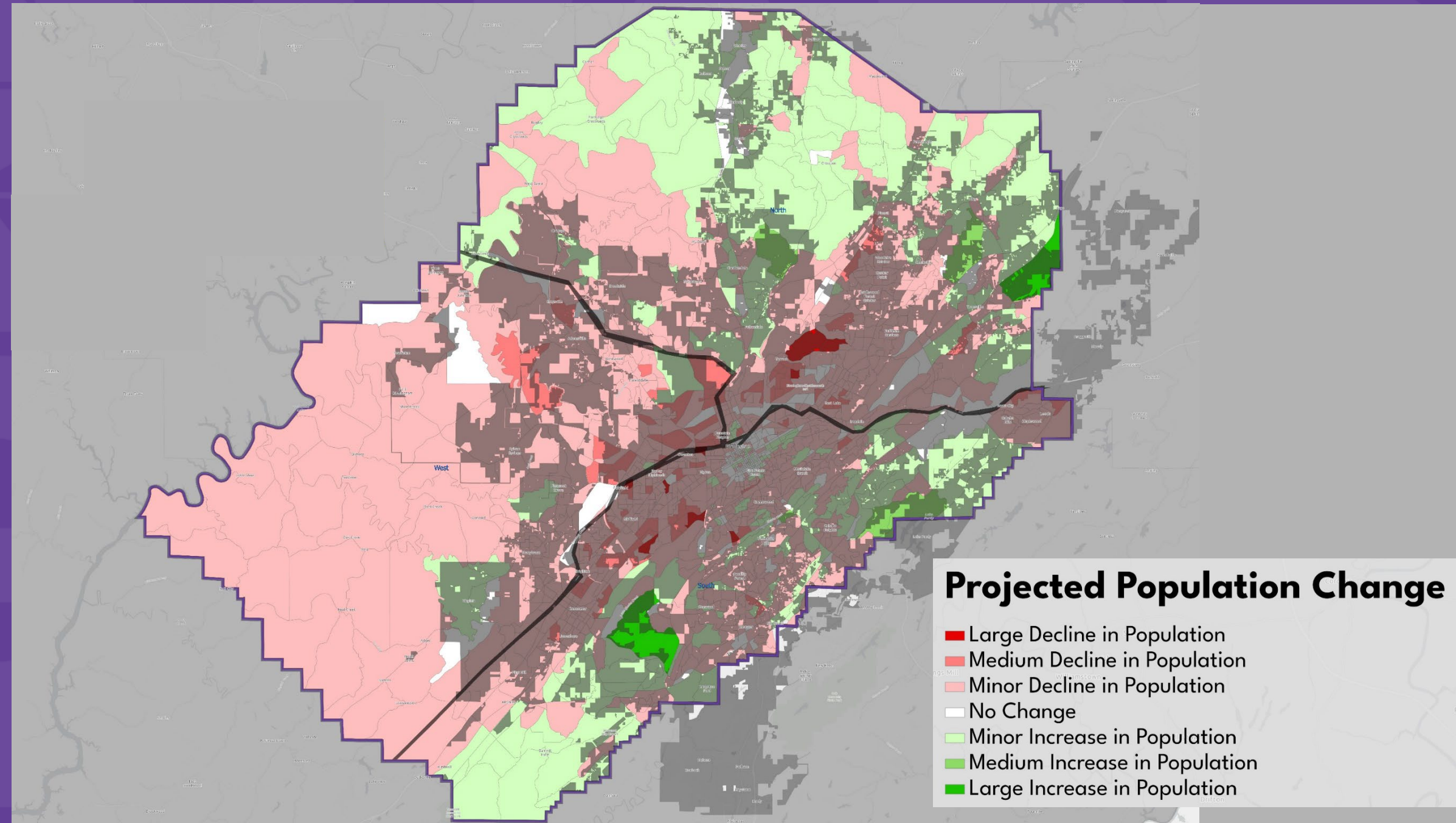
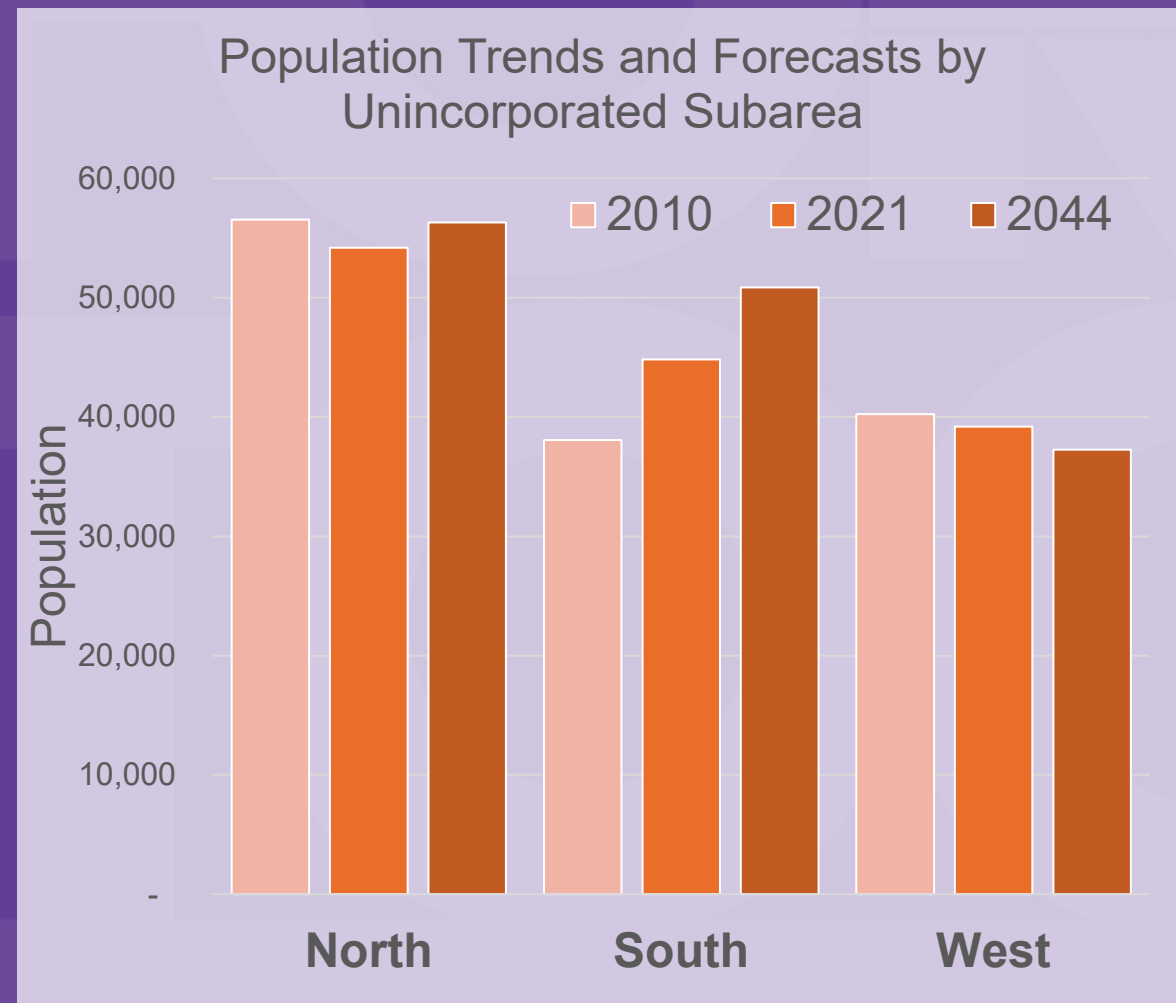
This is our Jefferson County. Forward Together!

POPULATION

- Overall slow growth in the County with redistribution among different parts:
 - City of Birmingham has seen a decrease in population, particularly since 2020.
 - Other incorporated parts of the County have added residents at an annual rate of 0.5% adding 15,000 residents since 2010
 - Unincorporated parts of the County have added residents at annual rate of 0.2% ~ 3,000 residents since 2010.



PROJECTED POPULATION CHANGE



PROJECTED CHANGE IN POPULATION: 2021-2044



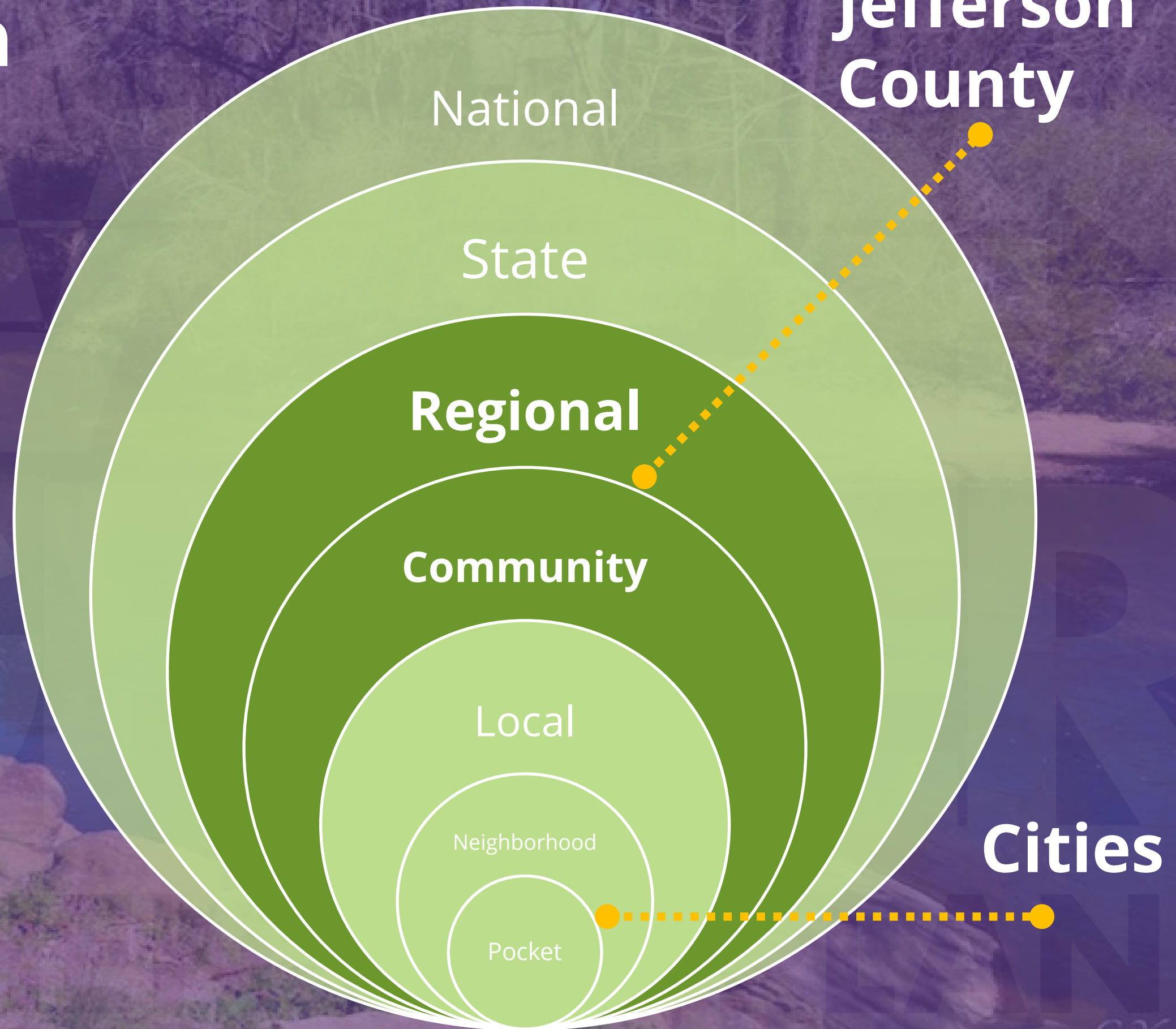


PARKS AND NATURAL RESOURCES

Parks, Conservation and Natural Areas

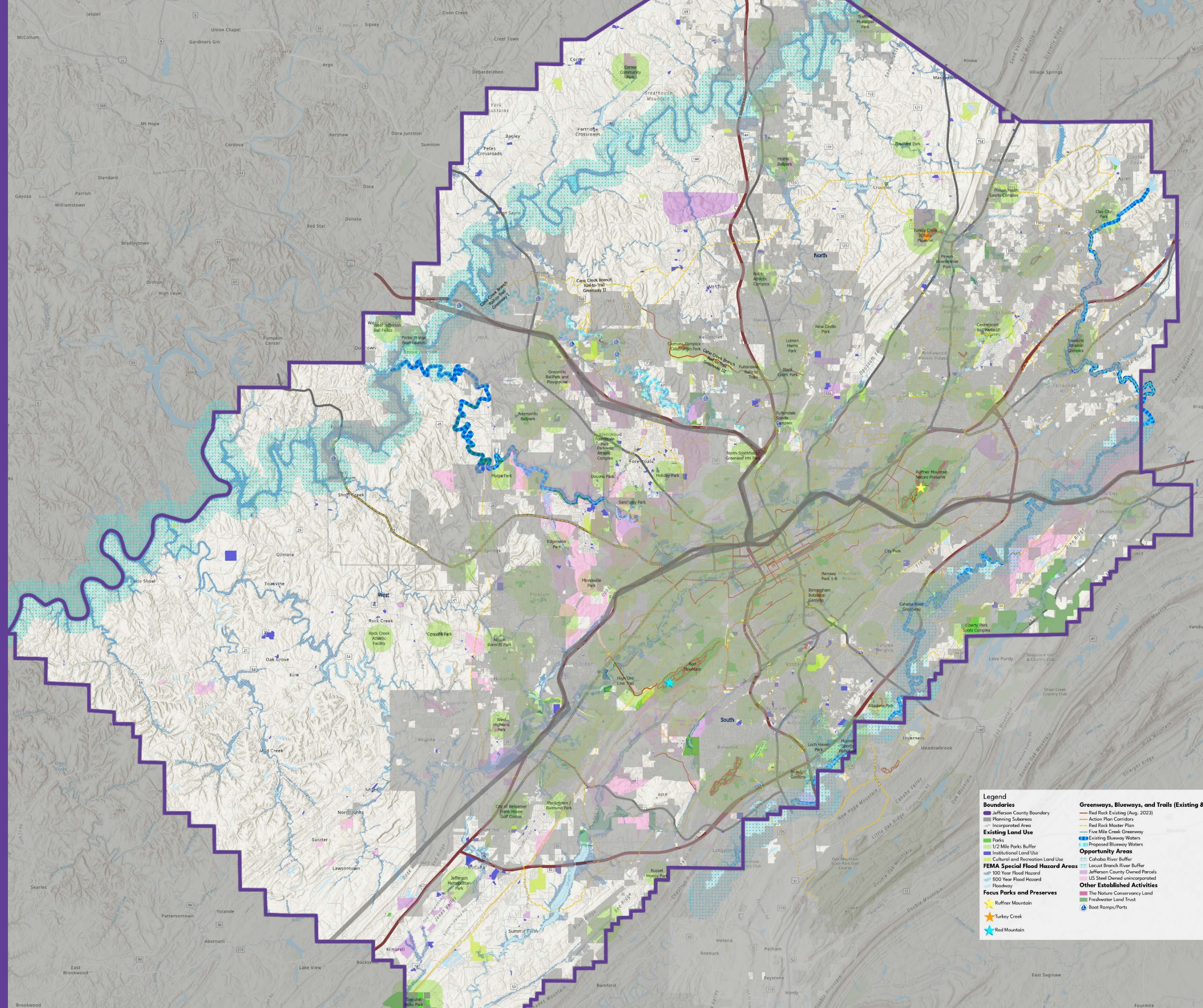
“Everybody needs beauty as well as bread, places to play in and pray in, where nature may heal and give strength to body and soul.”

Naturalist John Muir



Park Resources

Unincorporated Jefferson County



Legend

Boundaries

- Jefferson County Boundary
- Planning Subareas
- Incorporated Area

Existing Land Use

- Parks
- 1/2 Mile Parks Buffer
- Institutional Land Use
- Cultural and Recreation Land Use

FEMA Special Flood Hazard Areas

- 100 Year Flood Hazard
- 500 Year Flood Hazard
- Floodway

Focus Parks and Preserves

- Ruffner Mountain
- Turkey Creek
- Red Mountain

Greenways, Blueways, and Trails (Existing & Planned)

- Red Rock Existing (Aug. 2023)
- Action Plan Corridors
- Red Rock Master Plan
- Five Mile Creek Greenway
- Existing Blueway Waters
- Proposed Blueway Waters

Opportunity Areas

- Cahaba River Buffer
- Locust Branch River Buffer
- Jefferson County Owned Parcels
- US Steel Owned unincorporated

Other Established Activities

- The Nature Conservancy Land
- Freshwater Land Trust
- Boat Ramps/Ports

Legend

Boundaries

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- Planning Subareas
- Incorporated Area

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Other Established Activities

- The Nature Conservancy Land
- Freshwater Land Trust
- Boat Ramps/Ports

Benchmarking Demand

Unincorporated County: 1200 – 2200 additional acres to meet national averages

ACRES OF PARKLAND PER 1,000 RESIDENTS (Unincorporated County)											
	All Agencies	Less Than 20,000	20,000 to 49,999	50,000 to 99,999	100,000 to 250,000	More Than 250,000	Ideal Acreage	Available Acreage	Current Surplus/ (Deficit)	Projected Pop. by 2045 (low)	Total Acreage Needed
									138,204	144,408	
									Projected Added Demand 2045		
Median	10.8	13.0	11.3	11.2	8.9	10.1	1,396	246.8	(1,149)	63	1,212
Lower Quartile	5.3	6.0	5.9	5.0	4.5	5.2	719	246.8	(472)	32	504
Upper Quartile	18.4	21.1	17.9	17.3	17.1	17.4	2,405	246.8	(2,158)	108	2,266

Source: National Recreation and Parks Association and Consultant Analysis

Northern Planning Area: 320 to 730 additional acres to meet national averages

ACRES OF PARKLAND PER 1,000 RESIDENTS (West)											
	All Agencies	Less Than 20,000	20,000 to 49,999	50,000 to 99,999	100,000 to 250,000	More Than 250,000	Ideal Acreage	Available Acreage	Current Surplus/ (Deficit)	Projected Pop. by 2045 (low)	Total Acreage Needed
									39,199	37,264	
									Projected Added Demand 2045		
Median	10.8	13.0	11.3	11.2	8.9	10.1	547	113.7	(434)	(20)	414
Lower Quartile	5.3	6.0	5.9	5.0	4.5	5.2	282	113.7	(168)	(10)	158
Upper Quartile	18.4	21.1	17.9	17.3	17.1	17.4	943	113.7	(830)	(34)	795

Source: National Recreation and Parks Association and Consultant Analysis

PARKS DEMAND

ACRES OF PARKLAND PER 1,000 RESIDENTS (South)

	All Agencies	Less Than 20,000	20,000 to 49,999	50,000 to 99,999	100,000 to 250,000	More Than 250,000	Ideal Acreage	Available Acreage	Current Surplus/ (Deficit)	Projected Pop. by 2045 (low)	Total Acreage Needed
									54,180	56,289	
									Projected Added Demand 2045		
Median	10.8	13.0	11.3	11.2	8.9	10.1	547	375.5	(172)	21	193
Lower Quartile	5.3	6.0	5.9	5.0	4.5	5.2	282	375.5	94	11	(83)
Upper Quartile	18.4	21.1	17.9	17.3	17.1	17.4	943	375.5	(567)	37	604

Source: National Recreation and Parks Association and Consultant Analysis

ACRES OF PARKLAND PER 1,000 RESIDENTS (North)

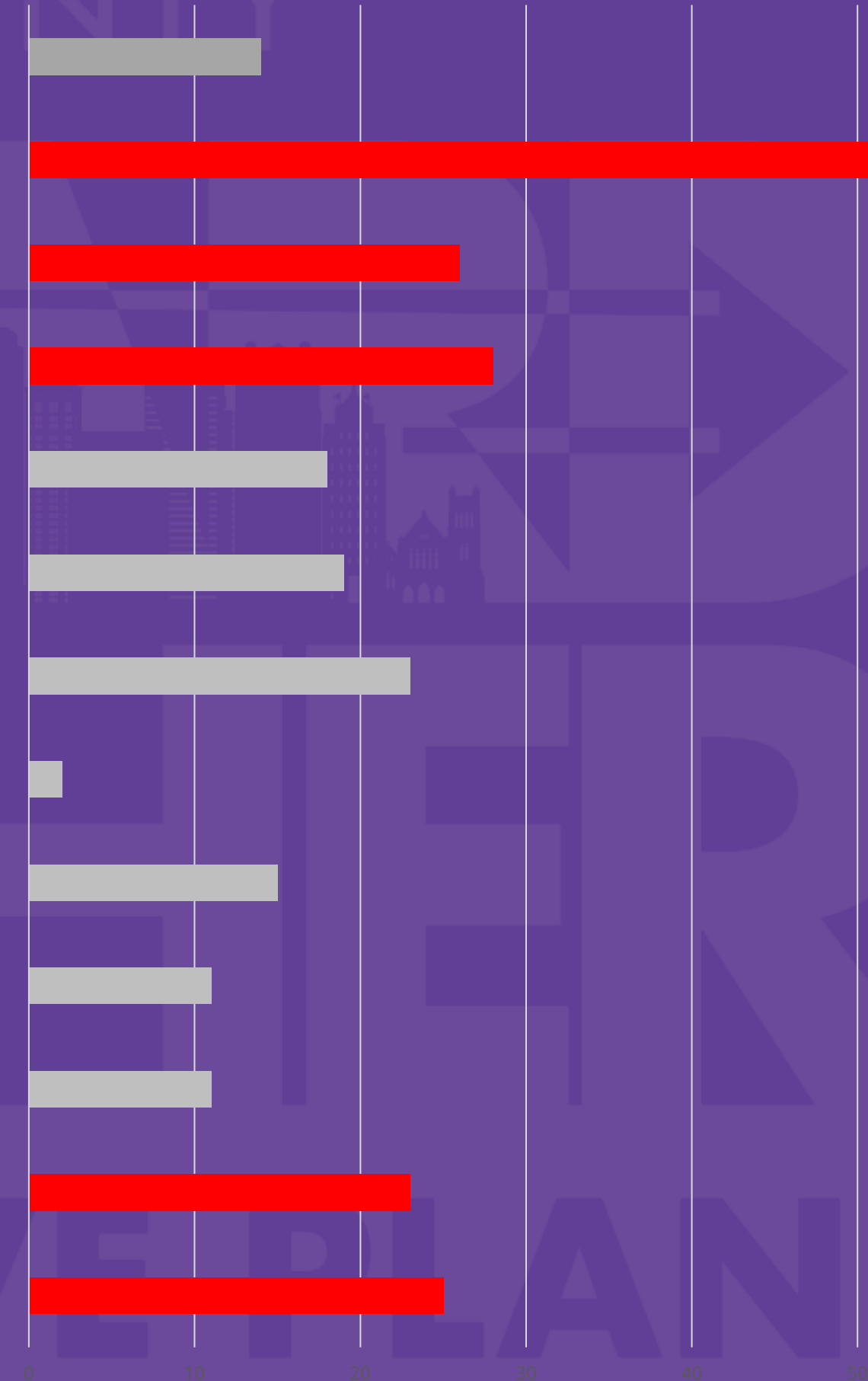
	All Agencies	Less Than 20,000	20,000 to 49,999	50,000 to 99,999	100,000 to 250,000	More Than 250,000	Ideal Acreage	Available Acreage	Current Surplus/ (Deficit)	Projected Pop. by 2045 (low)	Total Acreage Needed
									54,180	56,289	
									Projected Added Demand 2045		
Median	10.8	13.0	11.3	11.2	8.9	10.1	547	246.8	(300)	21	322
Lower Quartile	5.3	6.0	5.9	5.0	4.5	5.2	282	246.8	(35)	11	46
Upper Quartile	18.4	21.1	17.9	17.3	17.1	17.4	943	246.8	(696)	37	733

Source: National Recreation and Parks Association and Consultant Analysis

Parks Priorities (The Survey)



- Rectangle fields
- Walking and running paths
- Swimming pools
- Playgrounds
- Dog parks
- Tennis/pickleball courts
- Seating/picnic areas
- Frisbee golf courses
- Baseball/softball diamonds
- Skate parks
- Kayak/canoe launches
- Community gardens
- Multi-use courts



What have we heard about PARKS?
We'd like to see...

- family-friendly parks
- an amphitheater for concerts
- a community pool
- exercise centers with therapeutic pools
- new green spaces
- more outdoor walking opportunities

We're interested in...

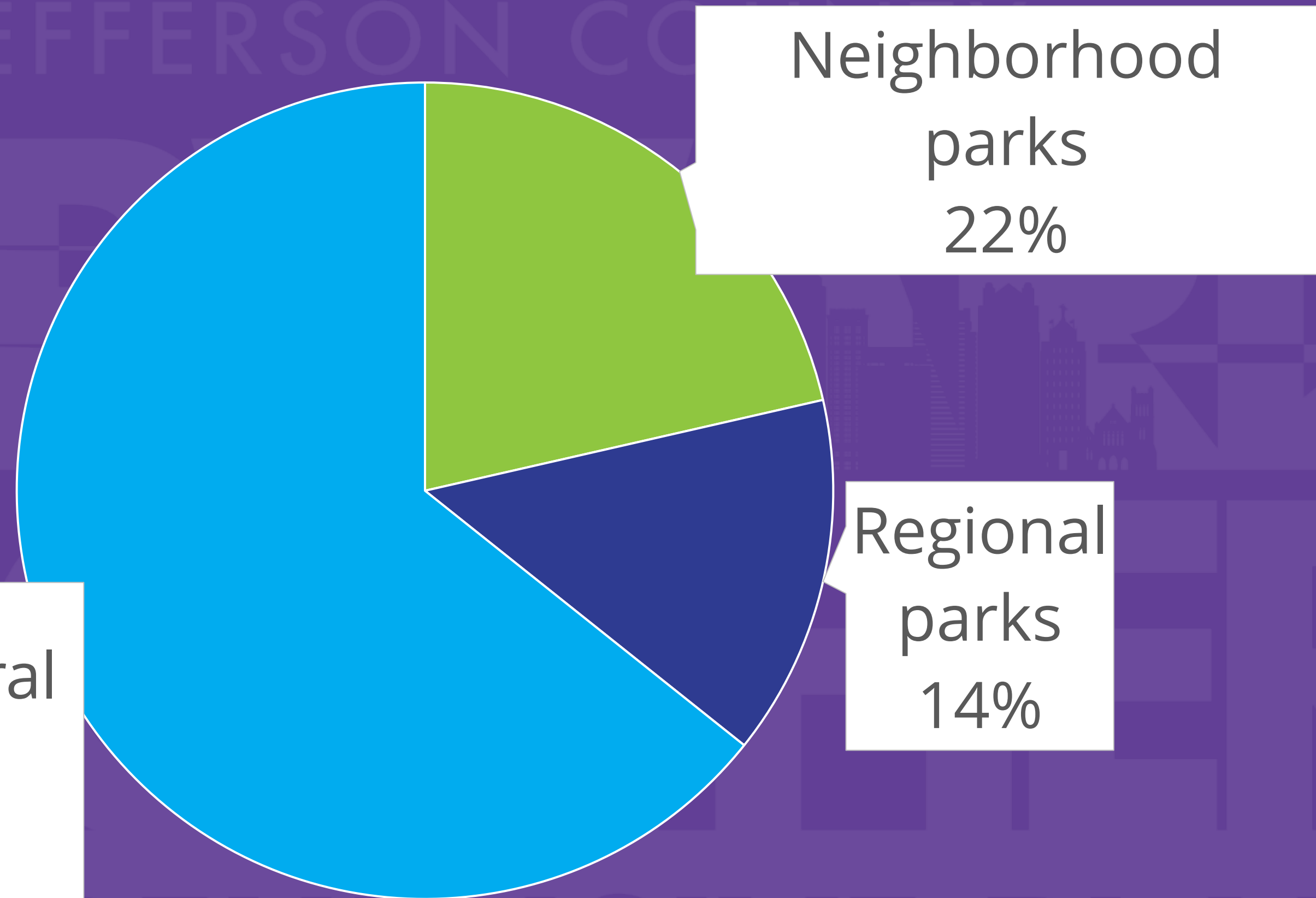
- Rectangle fields
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- Swimming pools
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- Tennis/pickleball courts
- Seating/picnic areas
- Frisbee golf courses
- Baseball/softball diamonds
- Skate parks
- Kayak/canoe launches
- Community gardens
- Multi-use courts

We need...

- upkeep of grass
- accessible parks
- clean-up of parks and open space
- activities for elders
- tree maintenance
- lights in our parks

JEFFERSON COUNTY
FORWARD TOGETHER
COMPREHENSIVE PLAN

Parks preference:



Preserve/natural
areas
64%

Neighborhood
parks
22%

Regional
parks
14%

Opportunities?

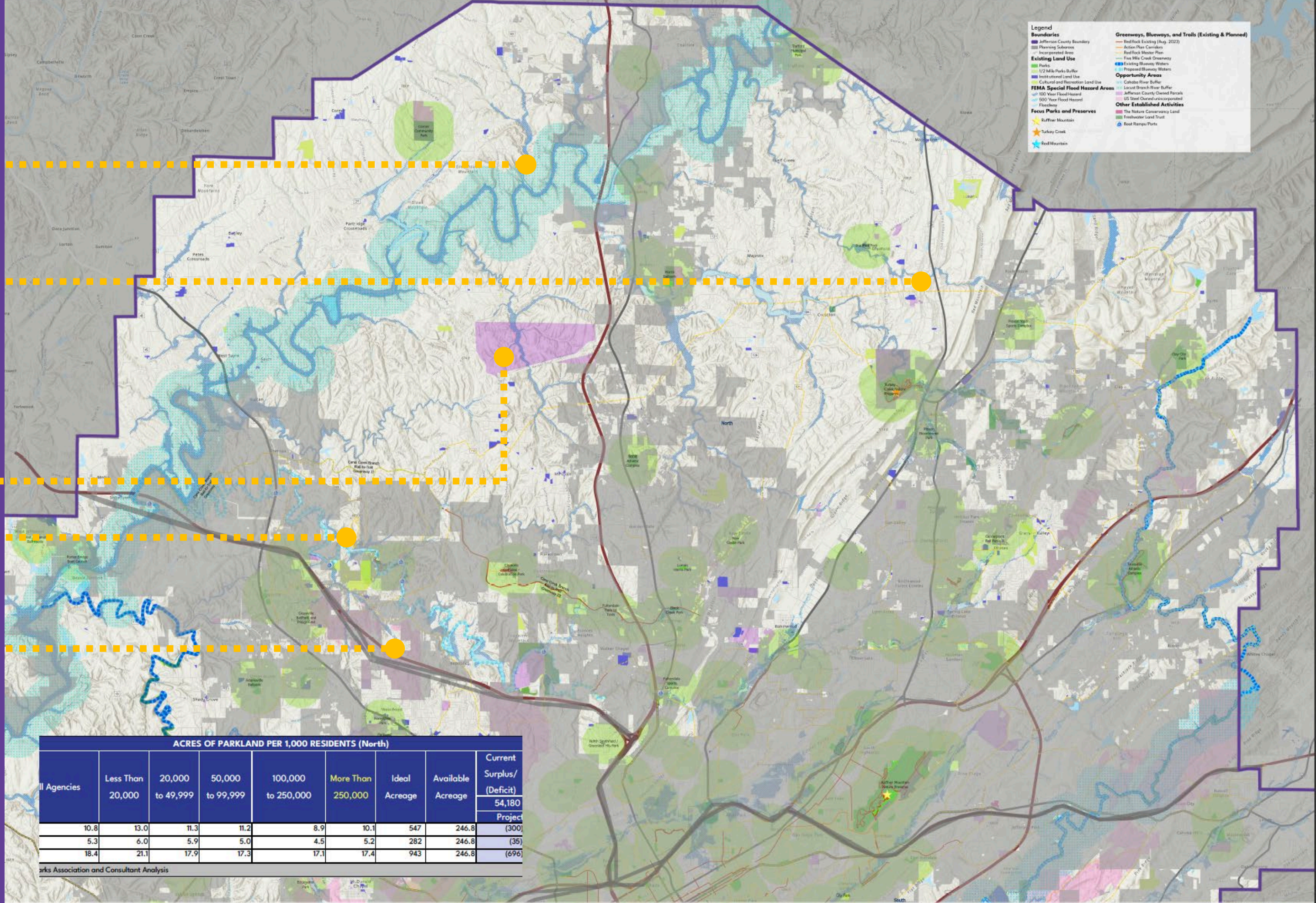
Black Warrior River Corridor

Butler Mountain

Jefferson County Lands

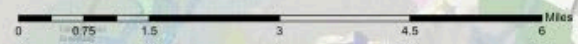
Fresh Water Land Trust

U.S. Steel Holdings?











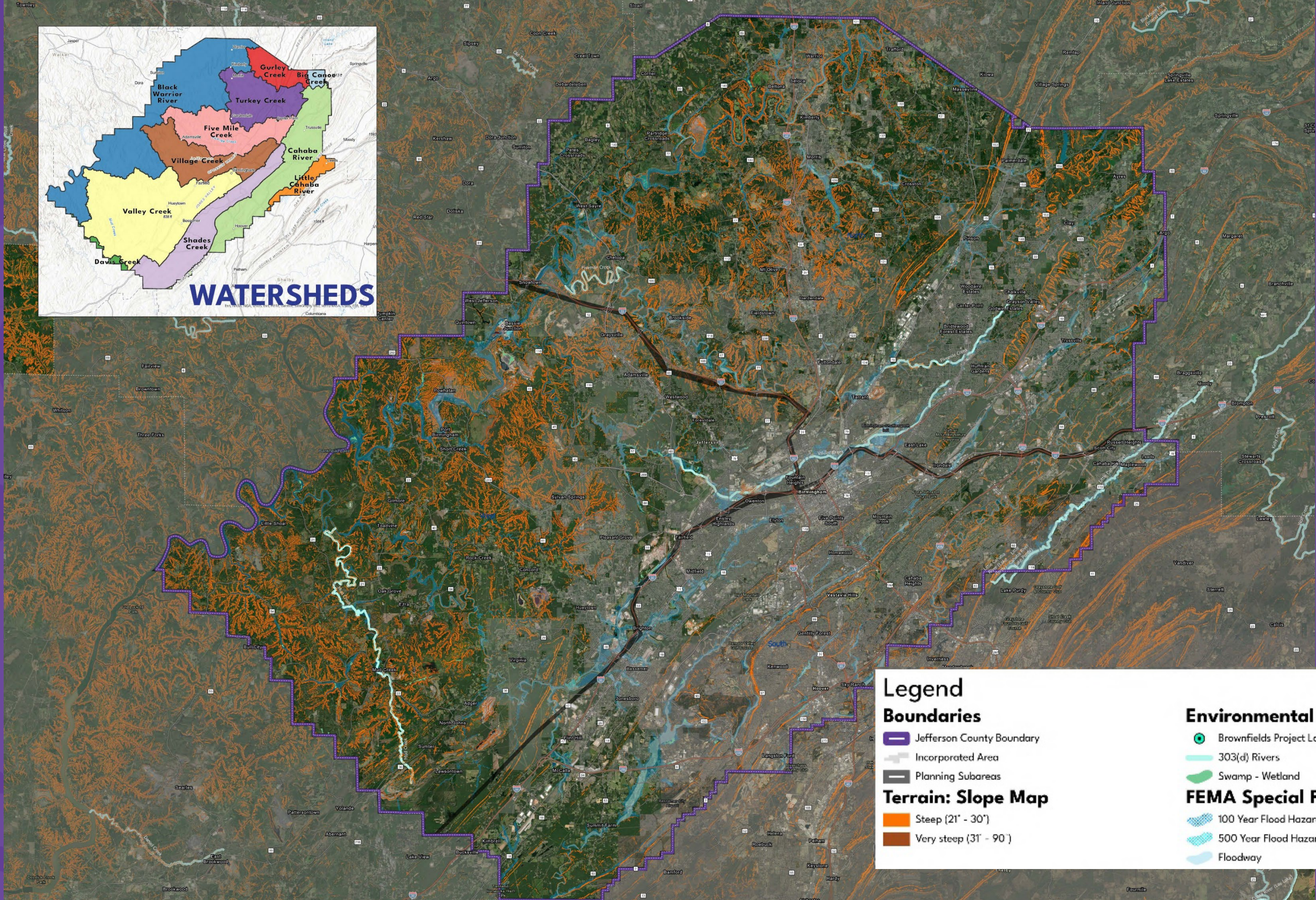
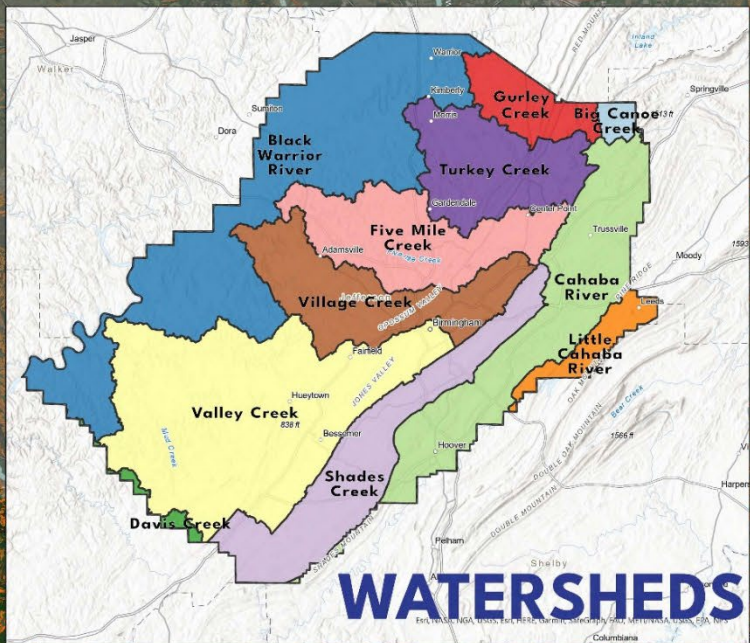
ACRES OF PARKLAND PER 1,000 RESIDENTS (North)								
All Agencies	Less Than 20,000	20,000 to 49,999	50,000 to 99,999	100,000 to 250,000	More Than 250,000	Ideal Acreage	Available Acreage	Current Surplus/ (Deficit)
10.8	13.0	11.3	11.2	8.9	10.1	547	246.8	54,180
5.3	6.0	5.9	5.0	4.5	5.2	282	246.8	(35)
18.4	21.1	17.9	17.3	17.1	17.4	943	246.8	(696)

PARKS AND PRESERVES



Meeting the Demand – Organizational Framework

	Organization	Status and Scope	Existing Public Facilities	Future Targets
	Facility Ownership, Construction, and Maintenance			
	1. Jefferson County Greenways Commission	<ul style="list-style-type: none"> Consolidated management of Red Mountain, Ruffner Mountain, and Turkey Creek nature areas 	<ul style="list-style-type: none"> Red Mountain Ruffner Mountain Turkey Creek 	<ul style="list-style-type: none"> Under development
	2. Freshwater Land Trust	<ul style="list-style-type: none"> Active land trust Building and maintaining Red Rock Trail System 	<ul style="list-style-type: none"> Red Rock Trail System Land ownership w/ potential access 	<ul style="list-style-type: none"> Red Rock Trail Plan Land Trust Activity Potential public access
	3. Forever Wild	<ul style="list-style-type: none"> True land trust 	<ul style="list-style-type: none"> None 	<ul style="list-style-type: none"> Land Trust Activity
	4. Jefferson County	<ul style="list-style-type: none"> No parks authority currently 	<ul style="list-style-type: none"> Variety of county owned lands, No dedicated parks and recreation program or funding, private management of public facilities 	<ul style="list-style-type: none"> Under development
	Monitoring, Advocacy, Education			
	1. Black Warrior River Keepers	<ul style="list-style-type: none"> Environmental monitoring, advocacy and, education of the Black Warrior River and its watersheds 	-	Continue activity
	2. Cahaba River Keepers	<ul style="list-style-type: none"> Environmental monitoring of the Cahaba River and its watersheds 	<ul style="list-style-type: none"> River Access 	Continue activity
	3. Cahaba River Society	<ul style="list-style-type: none"> Advocacy and education 	<ul style="list-style-type: none"> River Access 	Continue activity
	4. Community Foundation	<ul style="list-style-type: none"> Actively convening stakeholders 	-	Continue activity



Legend

Boundaries

- Jefferson County Boundary
- Incorporated Area
- Planning Subareas

Terrain: Slope Map

- Steep (21° - 30°)
- Very steep (31° - 90°)

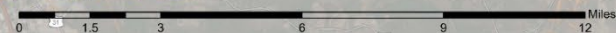
Environmental Features

- Brownfields Project Locations
- 303(d) Rivers
- Swamp - Wetland

FEMA Special Flood Hazard Areas

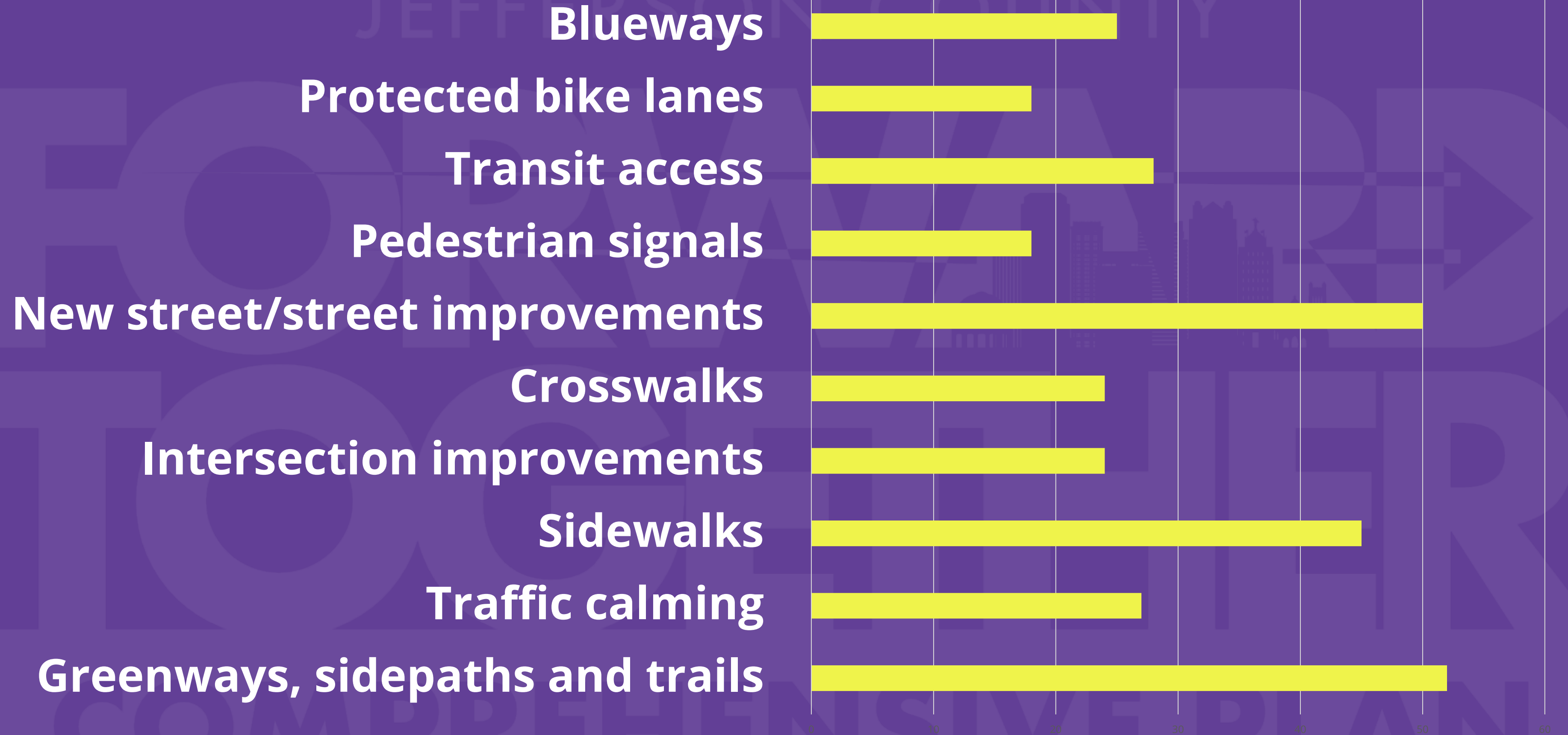
- 100 Year Flood Hazard
- 500 Year Flood Hazard
- Floodway

ENVIRONMENT & NATURAL RESOURCES

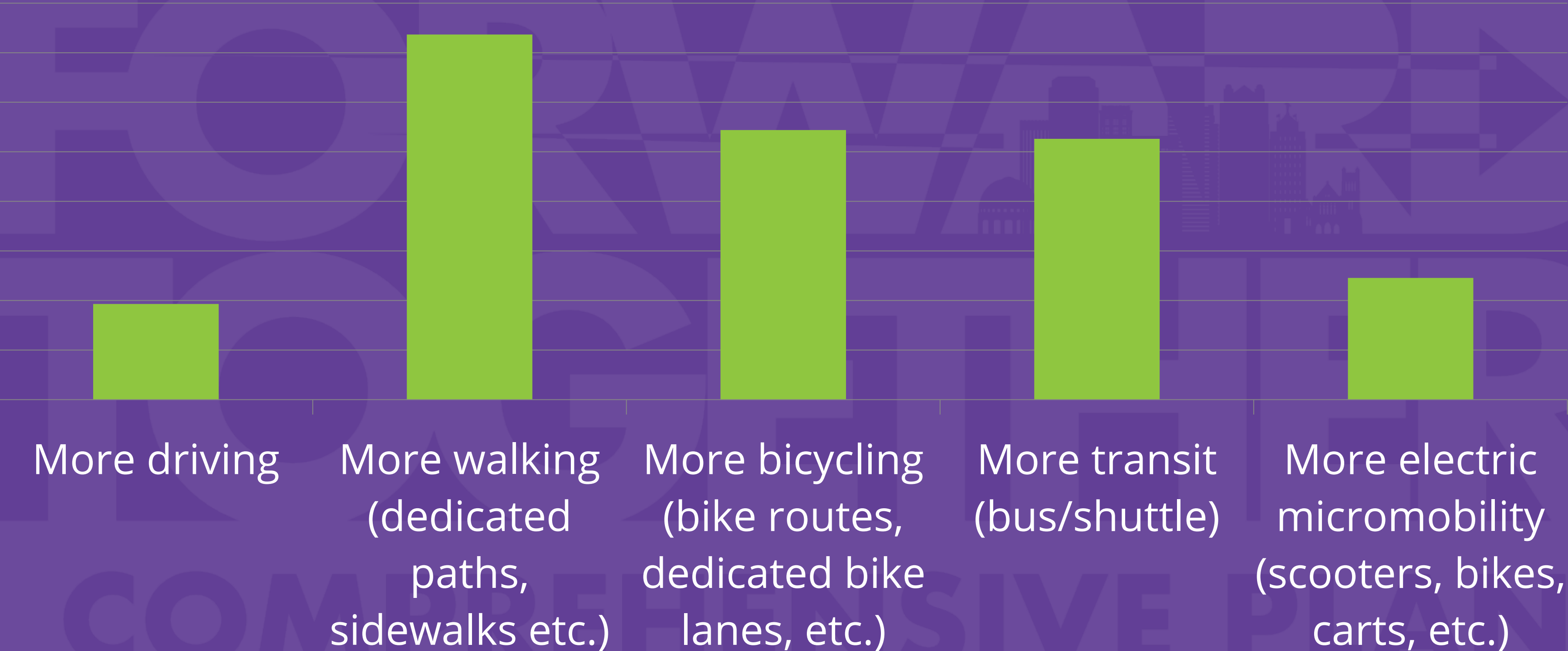


TRANSPORTATION

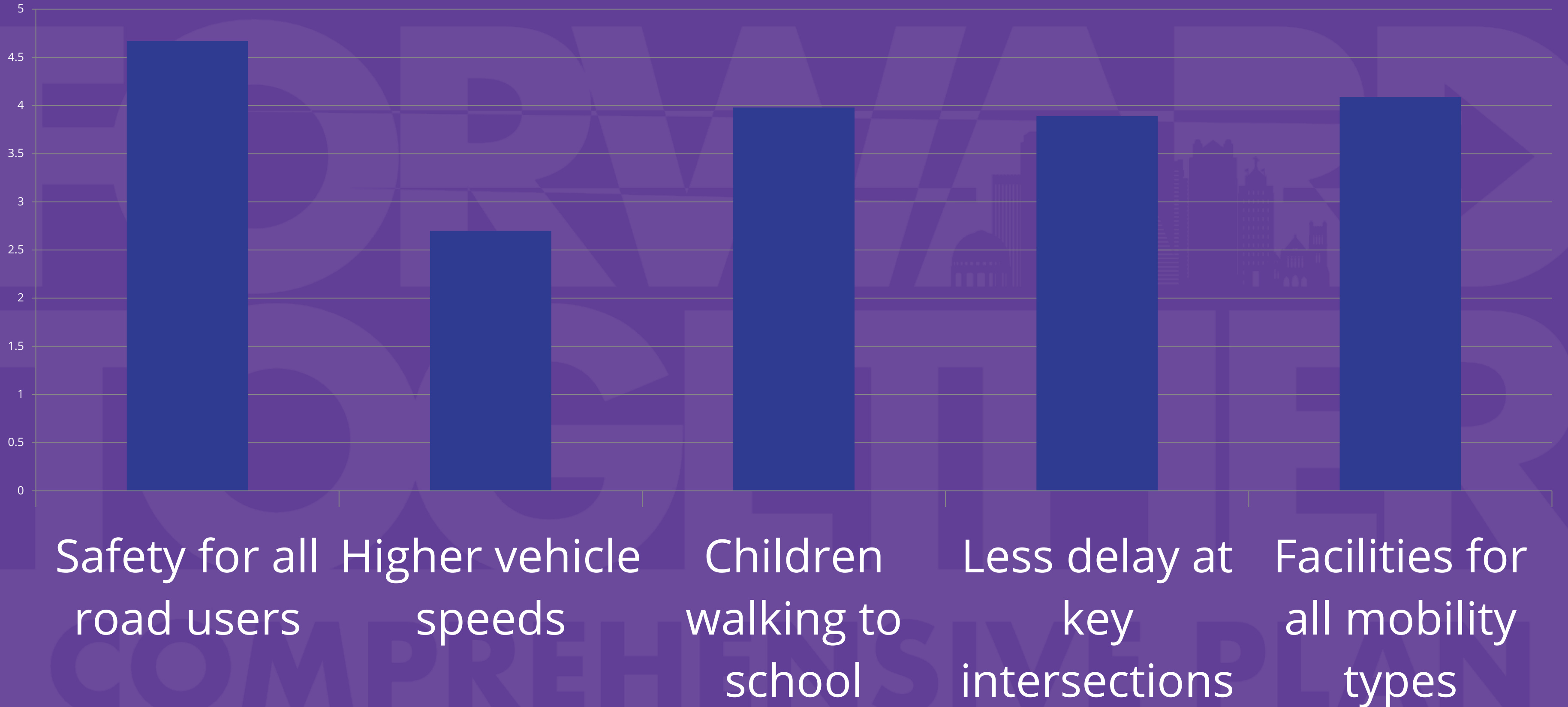
Mobility preference:



What kinds of transportation options would you like to see in Jefferson County in the future? Choose all answers that apply.

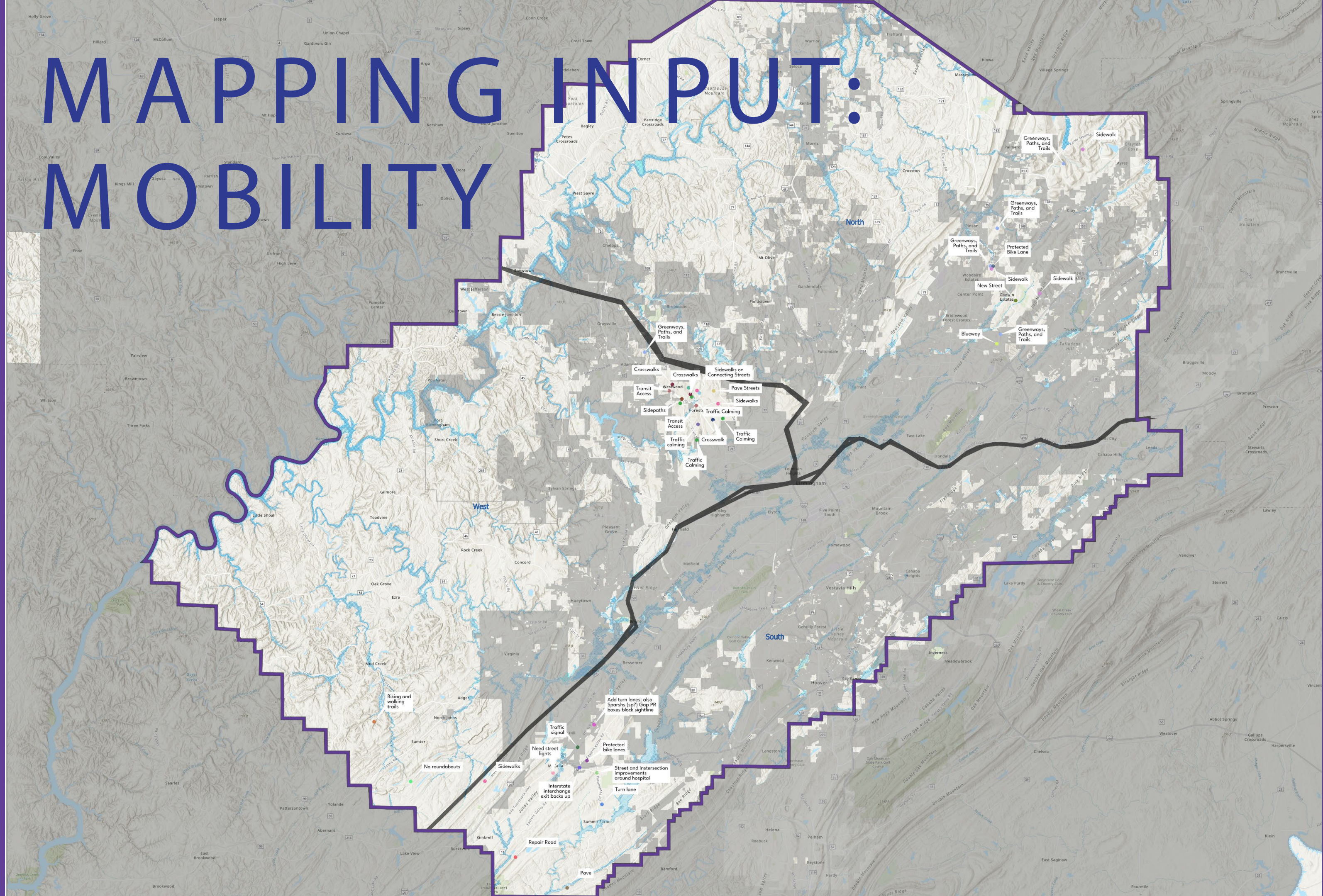


How important should the following mobility goals be for Jefferson County?

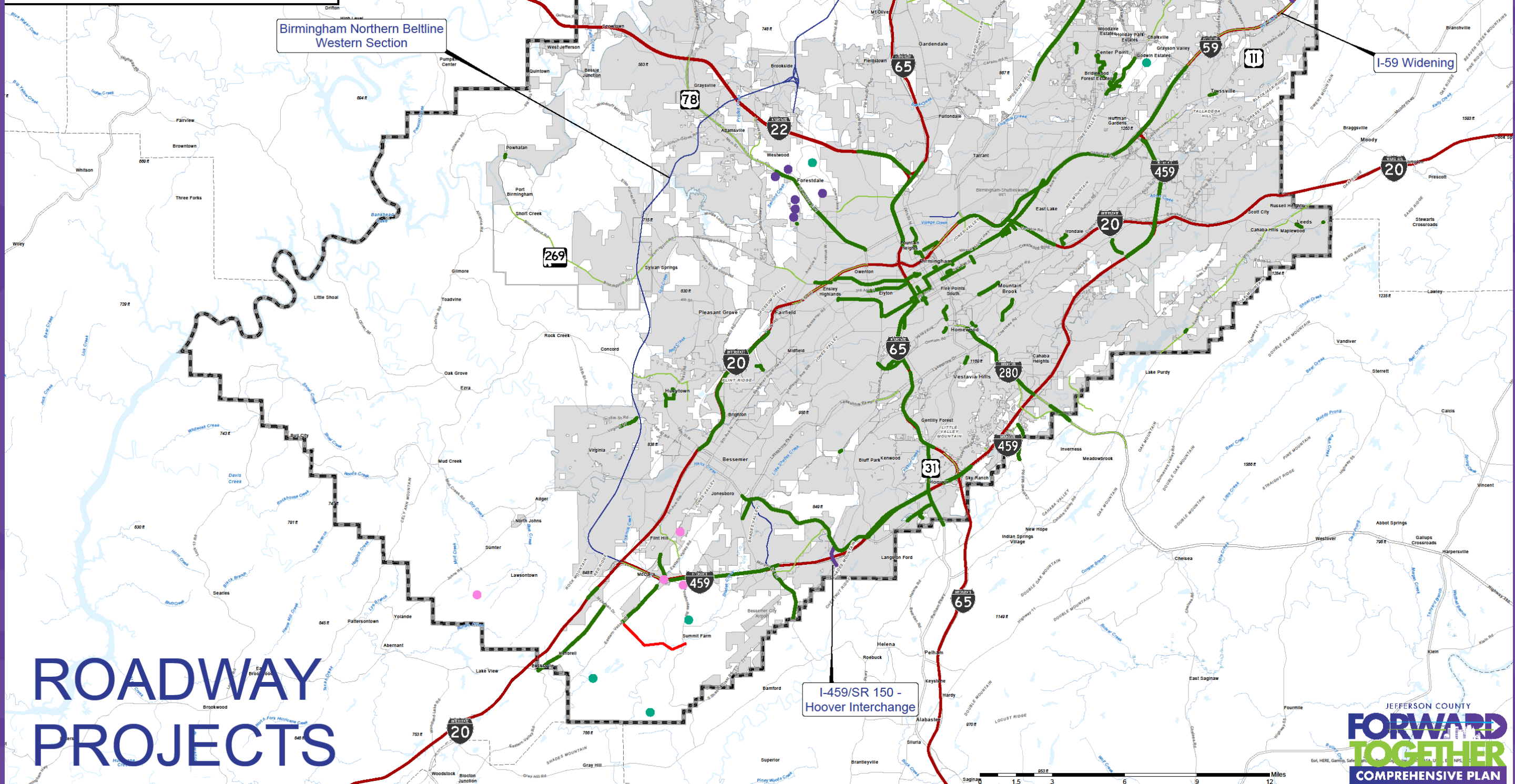


MAPPING INPUT:

MOBILITY

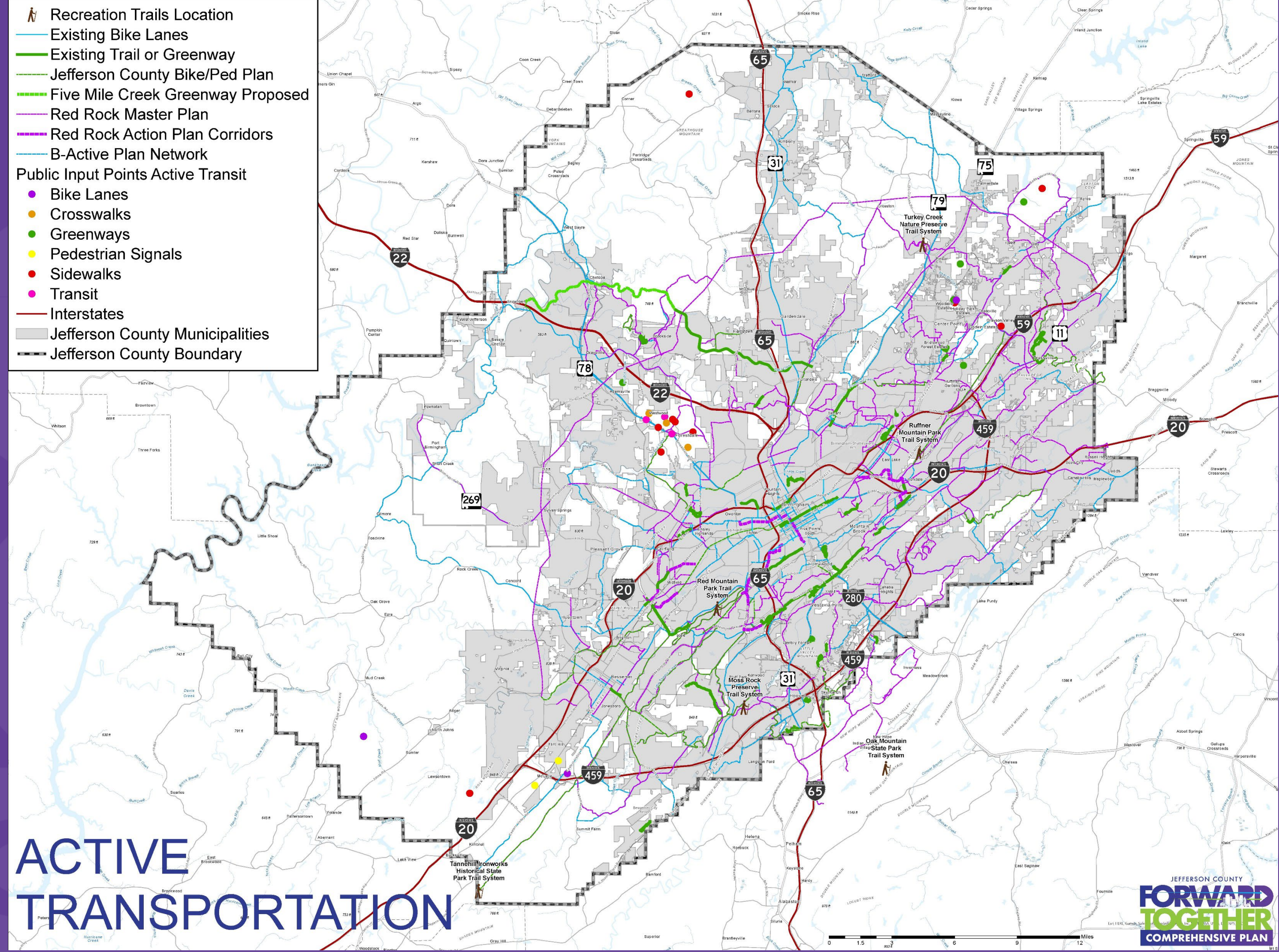


- Jefferson County Municipalities
- Jefferson County Boundary
- Interstates
- Funded Projects**
- New Roadway
- Additional Lanes/Widening
- Visionary Projects**
- New Roadway
- Additional Lanes/Widening
- Proposed Connector Roads
- Public Input Points Roadway**
- Intersection Improvements
- New Streets
- Traffic Calming
















ROADWAY PROJECTS

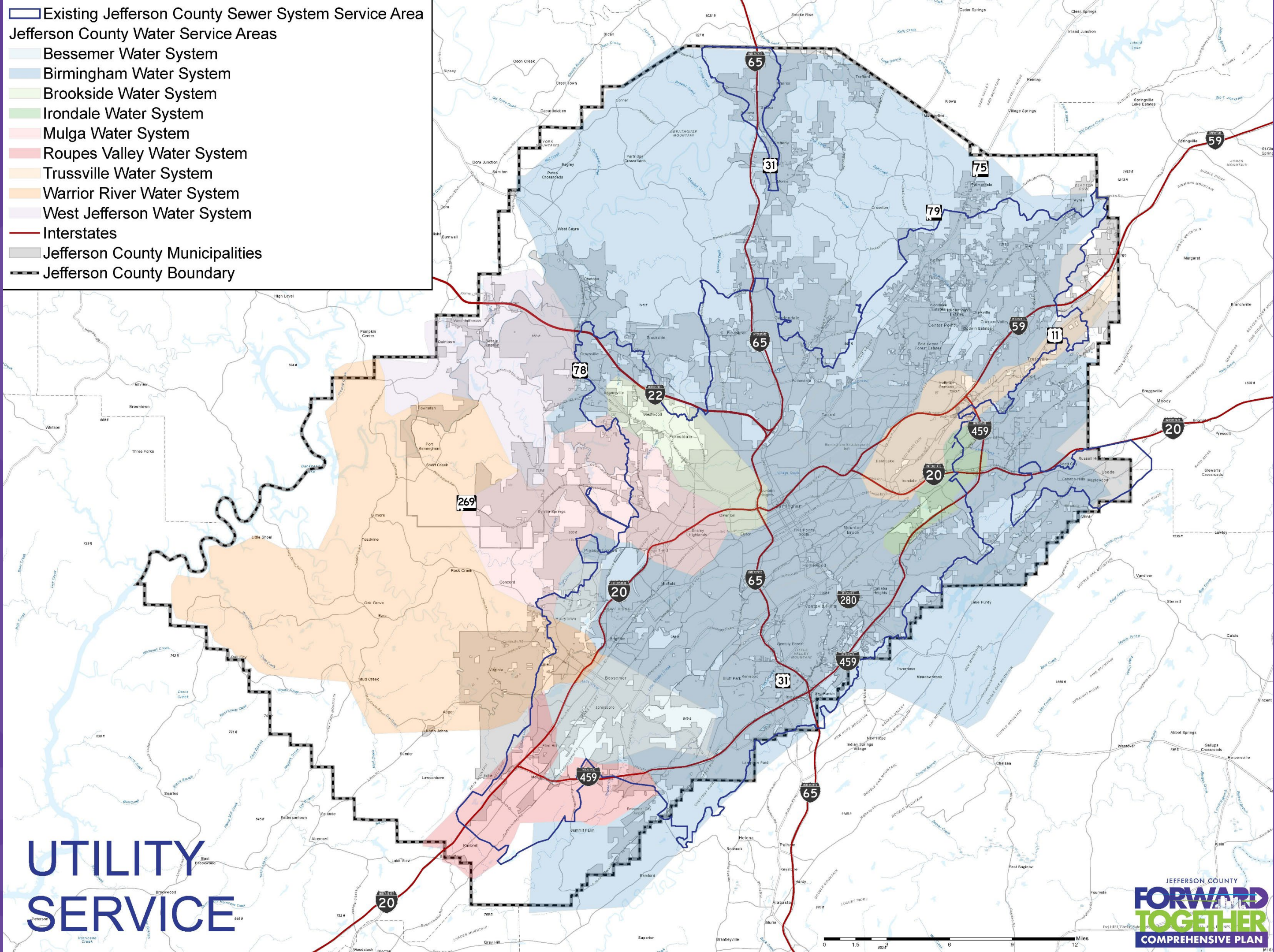
-  Recreation Trails Location
-  Existing Bike Lanes
-  Existing Trail or Greenway
-  Jefferson County Bike/Ped Plan
-  Five Mile Creek Greenway Proposed
-  Red Rock Master Plan
-  Red Rock Action Plan Corridors
-  B-Active Plan Network
- Public Input Points Active Transit**
-  Bike Lanes
-  Crosswalks
-  Greenways
-  Pedestrian Signals
-  Sidewalks
-  Transit
-  Interstates
-  Jefferson County Municipalities
-  Jefferson County Boundary



ACTIVE TRANSPORTATION

UTILITIES

-  Existing Jefferson County Sewer System Service Area
- Jefferson County Water Service Areas**
-  Bessemer Water System
-  Birmingham Water System
-  Brookside Water System
-  Irondale Water System
-  Mulga Water System
-  Roupes Valley Water System
-  Trussville Water System
-  Warrior River Water System
-  West Jefferson Water System
-  Interstates
-  Jefferson County Municipalities
-  Jefferson County Boundary

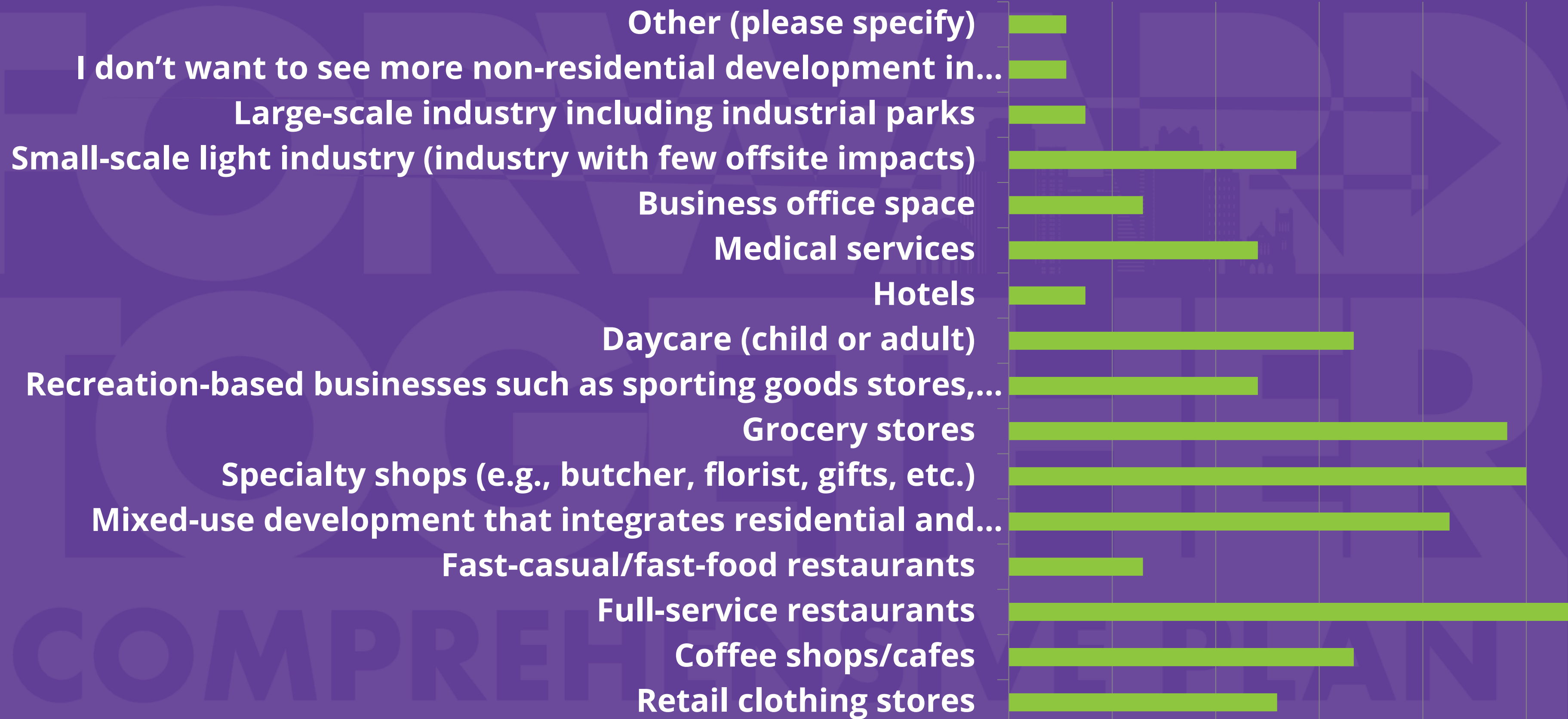


**UTILITY
SERVICE**



ECONOMIC DEVELOPMENT

What specific types of non-residential development would you like to see more of in Jefferson County? Choose all answers that apply.



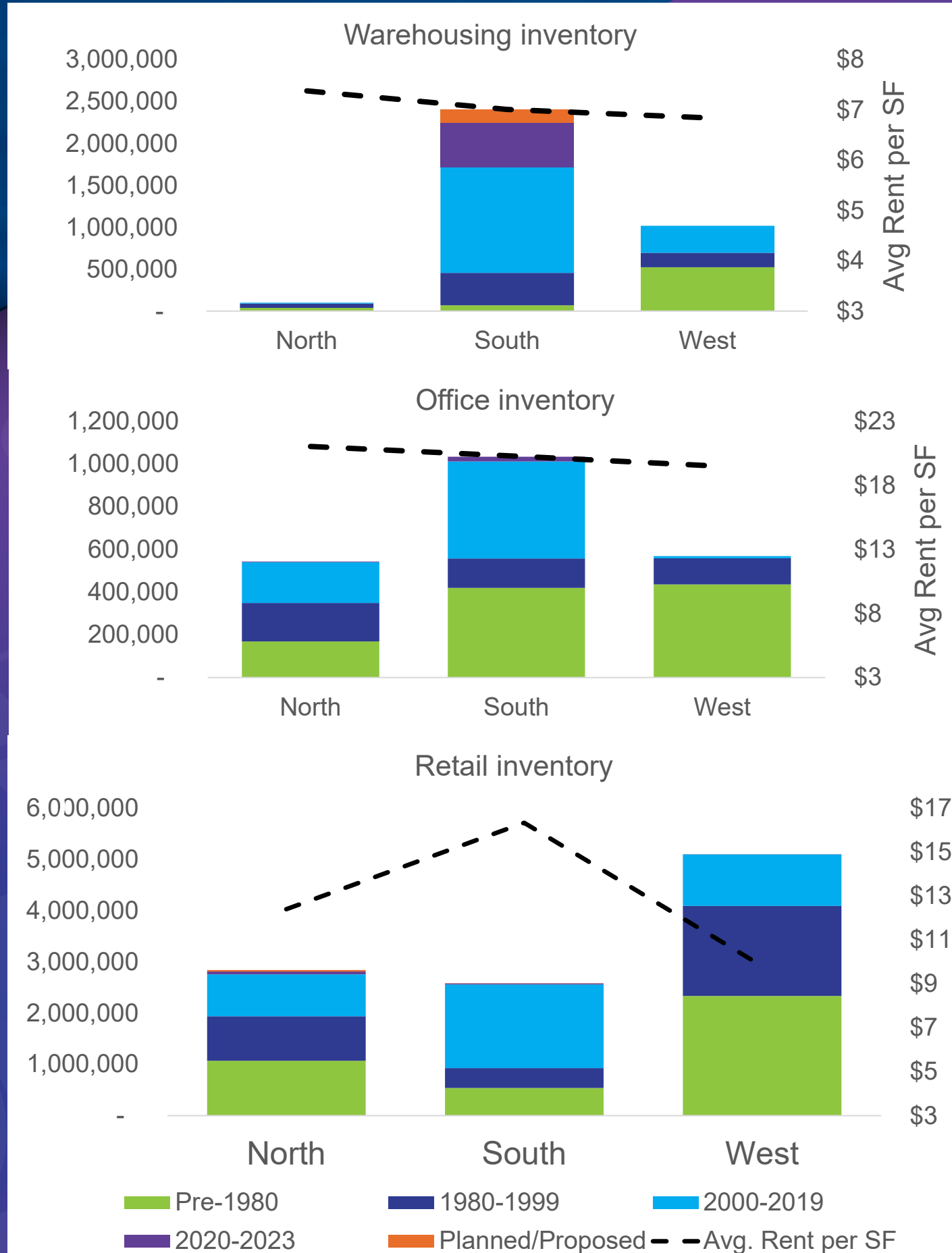


REAL ESTATE TRENDS

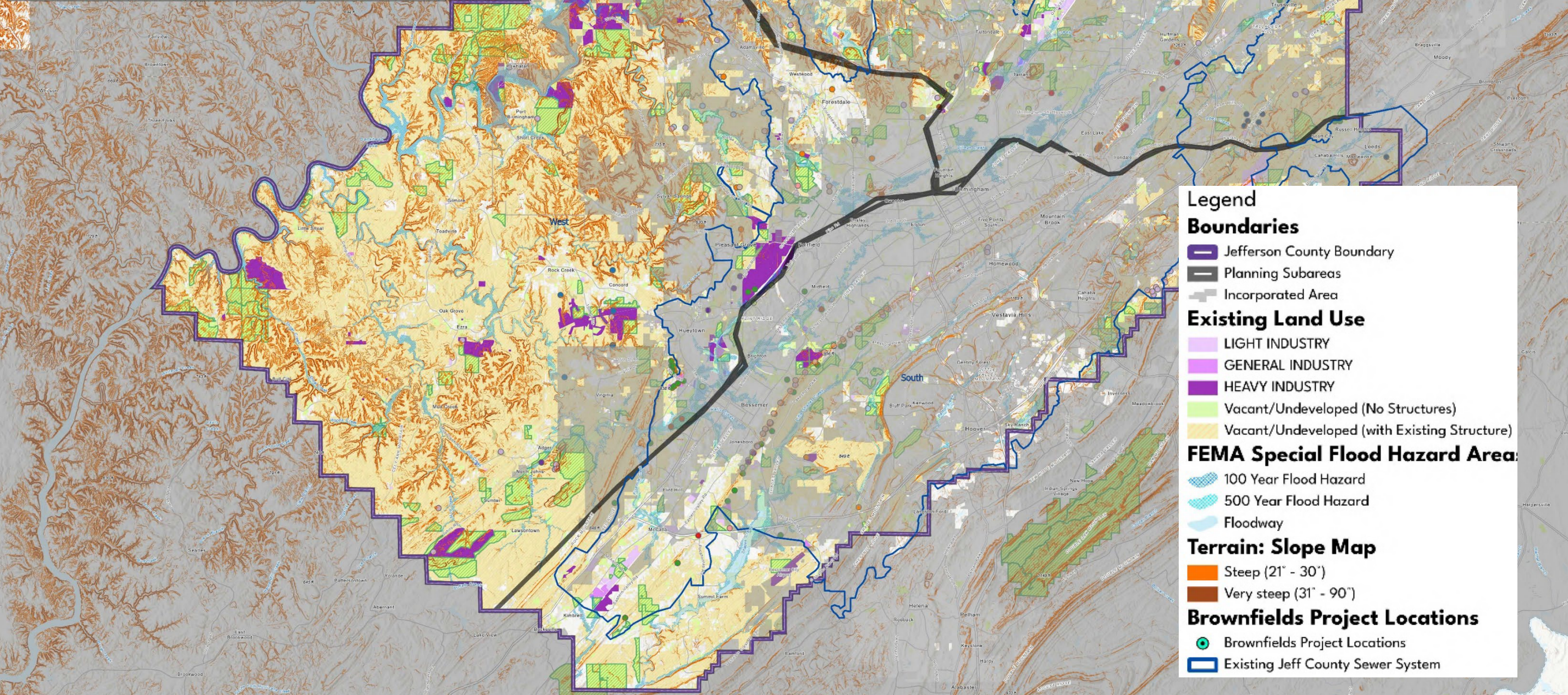
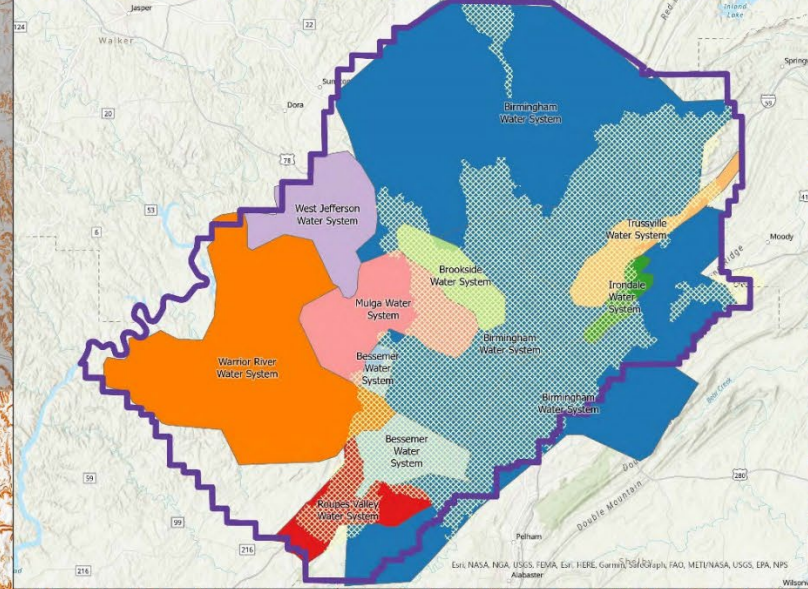
Commercial

- Unincorporated parts of the County have a small share of total County commercial real estate.
- Southern unincorporated parts have a newer CRE inventory with a large share of buildings built after 2000. Retail in southern subareas have higher average rent per

Gross Inventory by asset class, year built and subarea (Unincorporated)



SEWER EXTENT AND WATER SERVICE



Legend

Boundaries

- Jefferson County Boundary
- Planning Subareas
- Incorporated Area

Existing Land Use

- LIGHT INDUSTRY
- GENERAL INDUSTRY
- HEAVY INDUSTRY
- Vacant/Undeveloped (No Structures)
- Vacant/Undeveloped (with Existing Structure)

FEMA Special Flood Hazard Areas

- 100 Year Flood Hazard
- 500 Year Flood Hazard
- Floodway

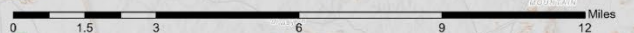
Terrain: Slope Map

- Steep (21° - 30°)
- Very steep (31° - 90°)

Brownfields Project Locations

- Brownfields Project Locations
- Existing Jeff County Sewer System

INDUSTRIAL/EMPLOYMENT CENTERS





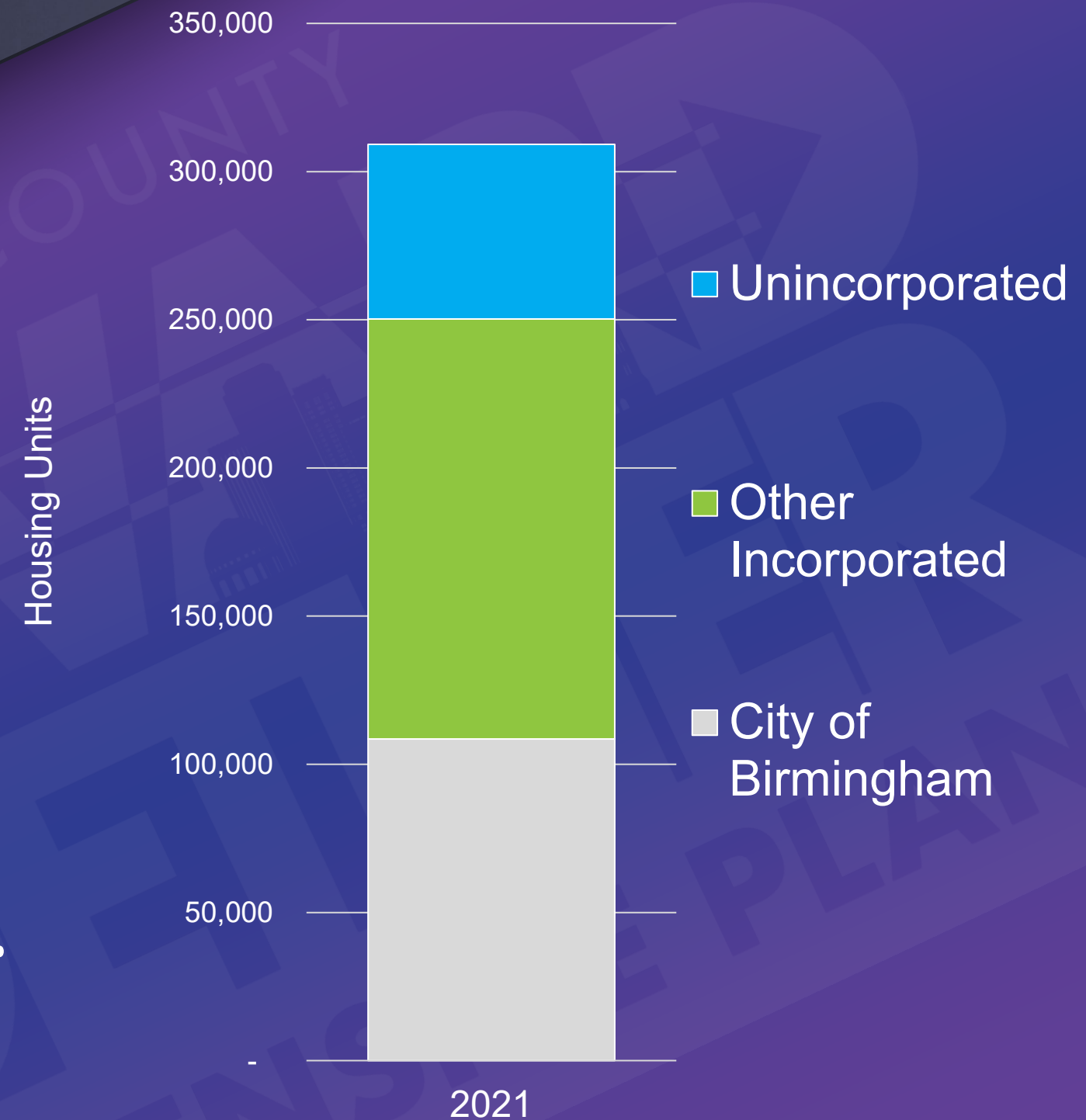
HOUSING & LAND DEVELOPMENT

REAL ESTATE TRENDS

- Residential

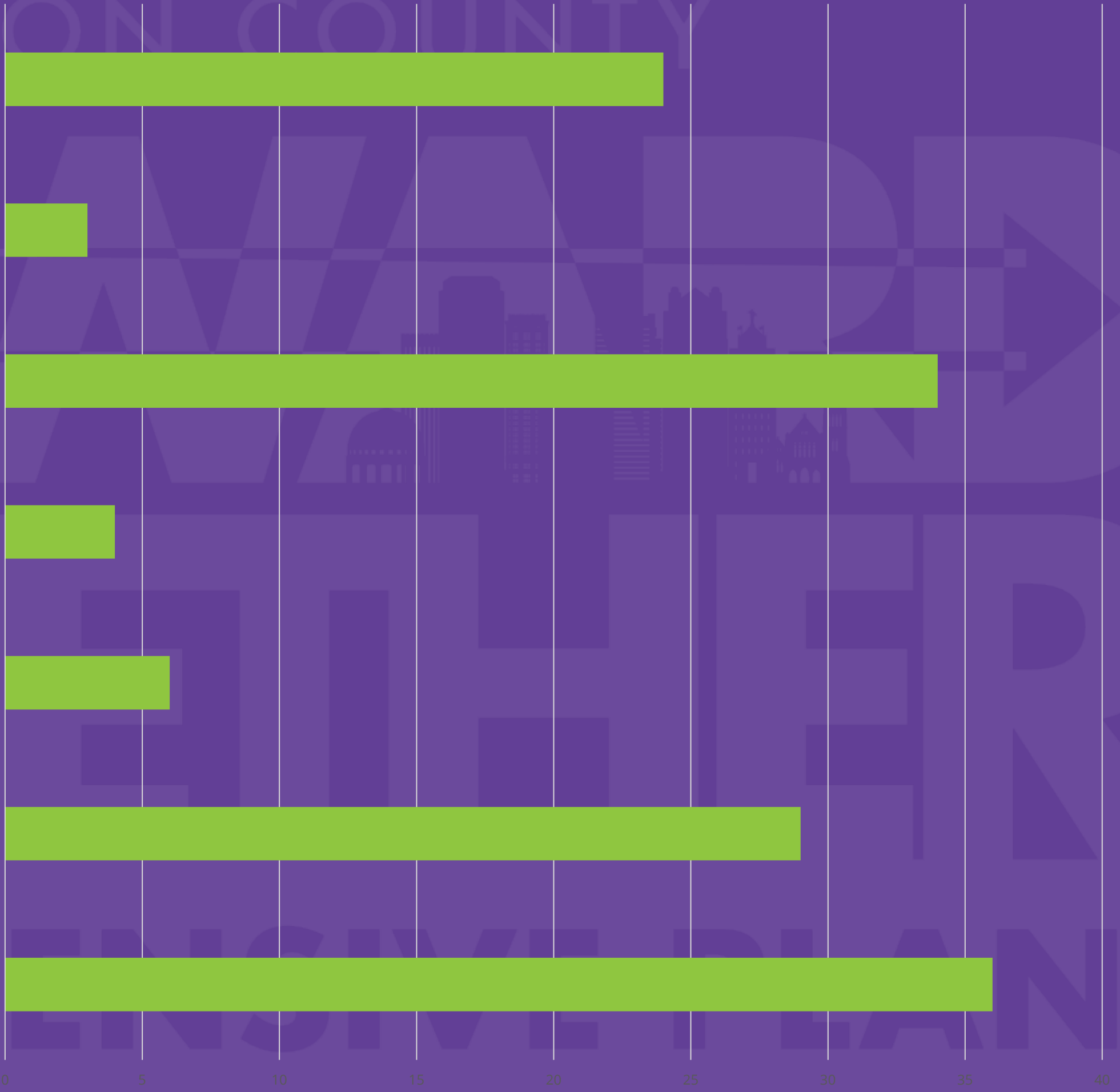
County Housing Units

- The unincorporated parts have 19% of the County's housing inventory majority of which is detached single family units.
- The County has about 13% of its units vacant- much higher than a healthy housing vacancy rate (7-8%).

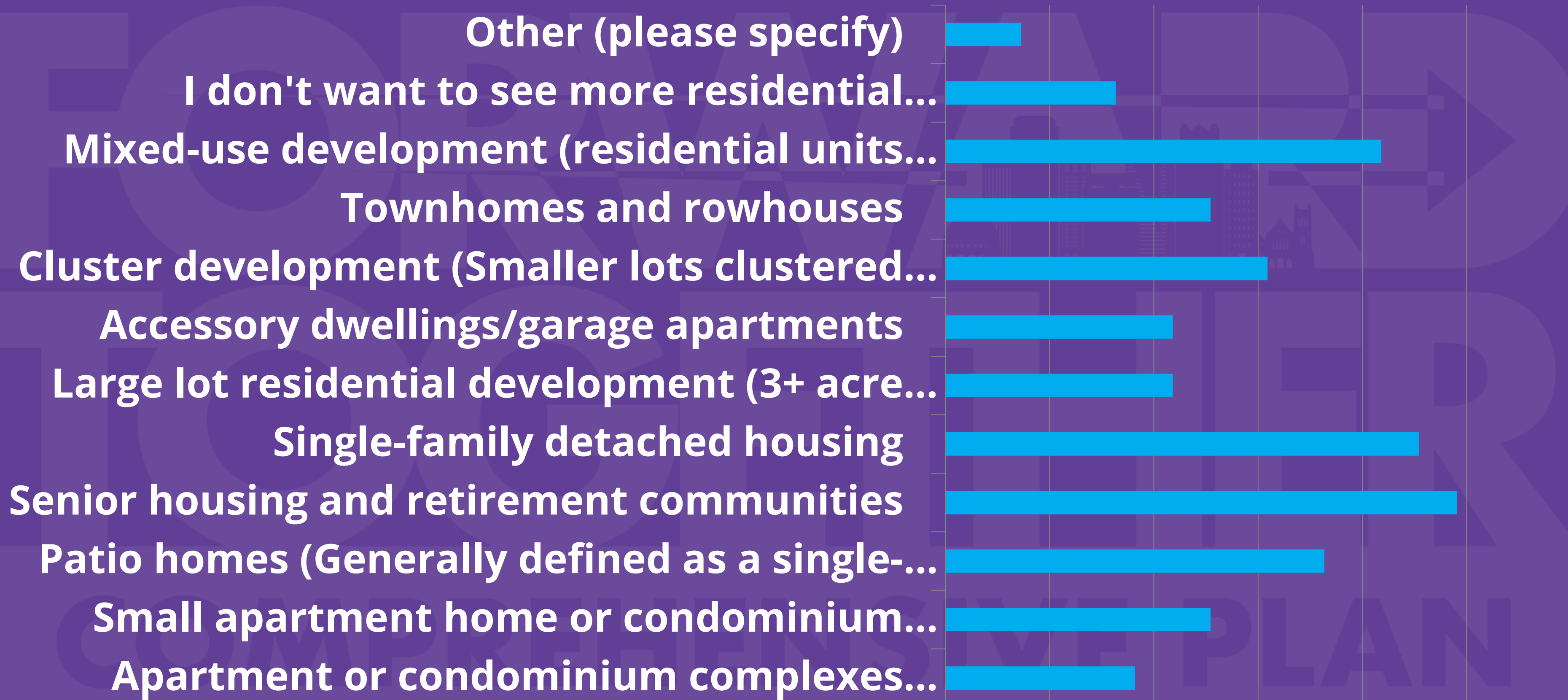


Housing preference:

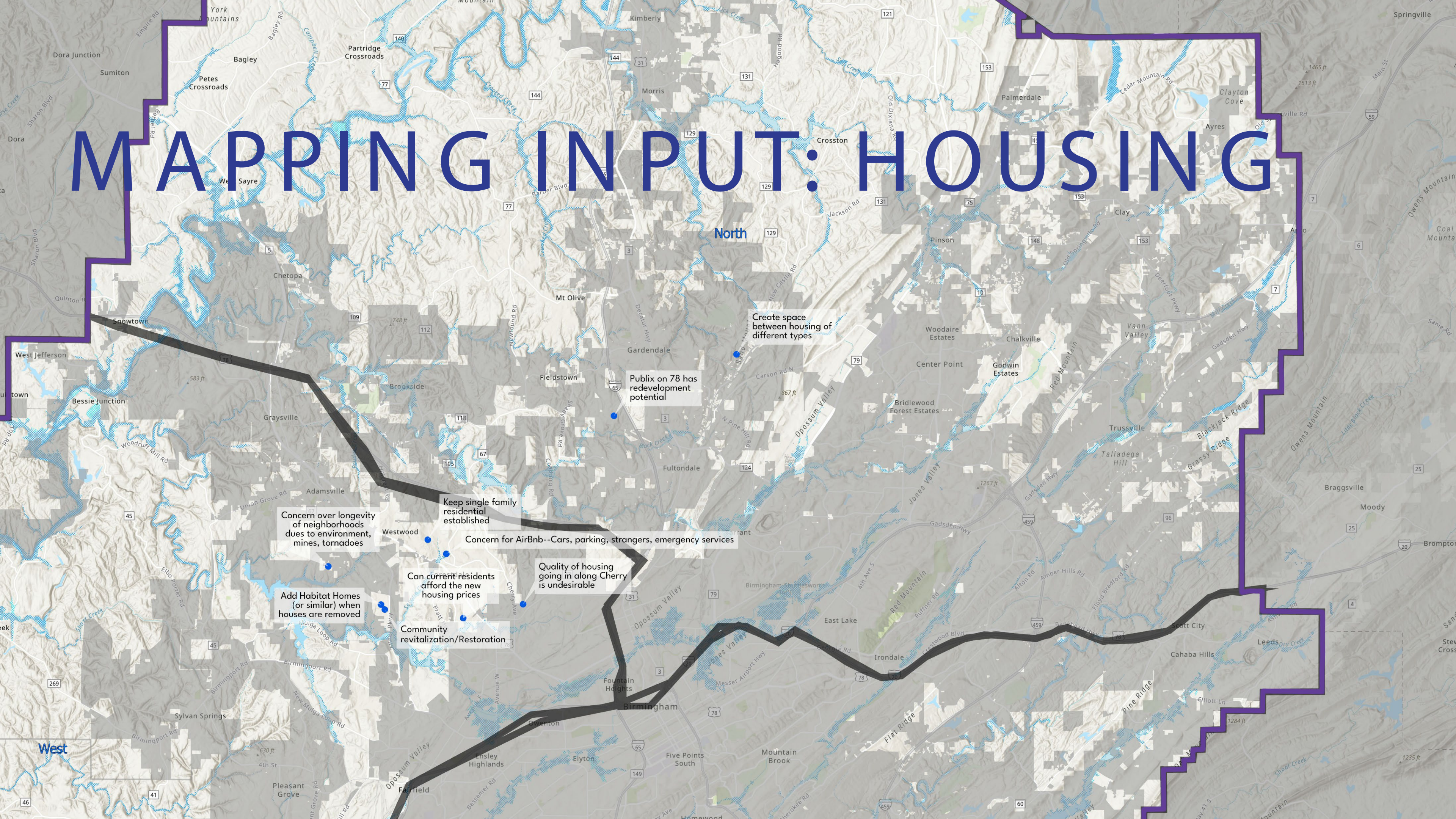
- Mixed-use
- Apartments
- Cottage courts
- Duplexes and triplexes
- Townhouses
- Suburban residential
- Estate residential



What specific types of residential development would you like to see more of in Jefferson County? Choose all answers that apply.



MAPPING INPUT: HOUSING



North

Create space between housing of different types

Publix on 78 has redevelopment potential

Concern over longevity of neighborhoods dues to environment, mines, tornadoes

Keep single family residential established

Concern for Airbnb--Cars, parking, strangers, emergency services

Add Habitat Homes (or similar) when houses are removed

Can current residents afford the new housing prices

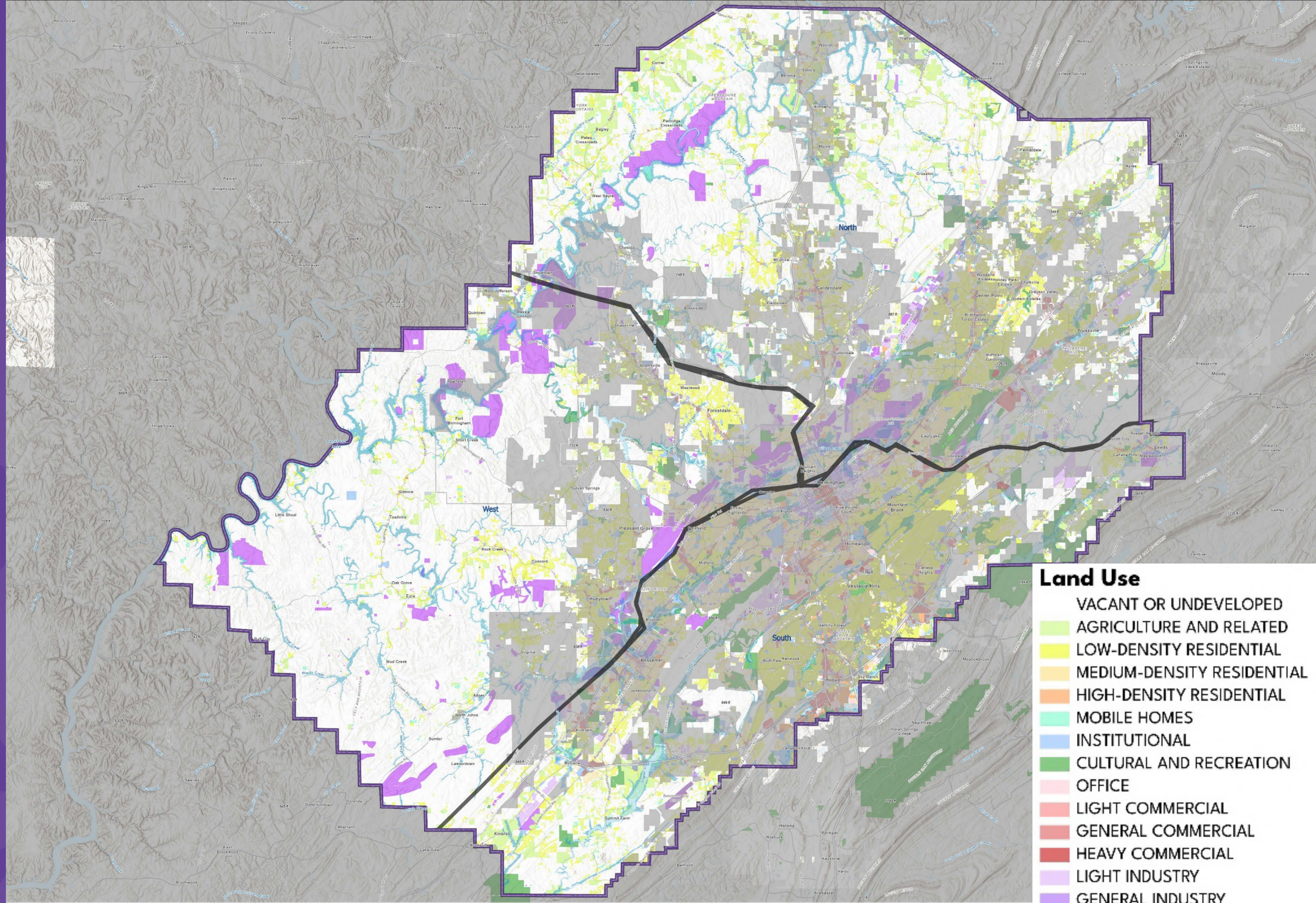
Quality of housing going in along Cherry is undesirable

Community revitalization/Restoration

West



LAND USE SCENARIOS

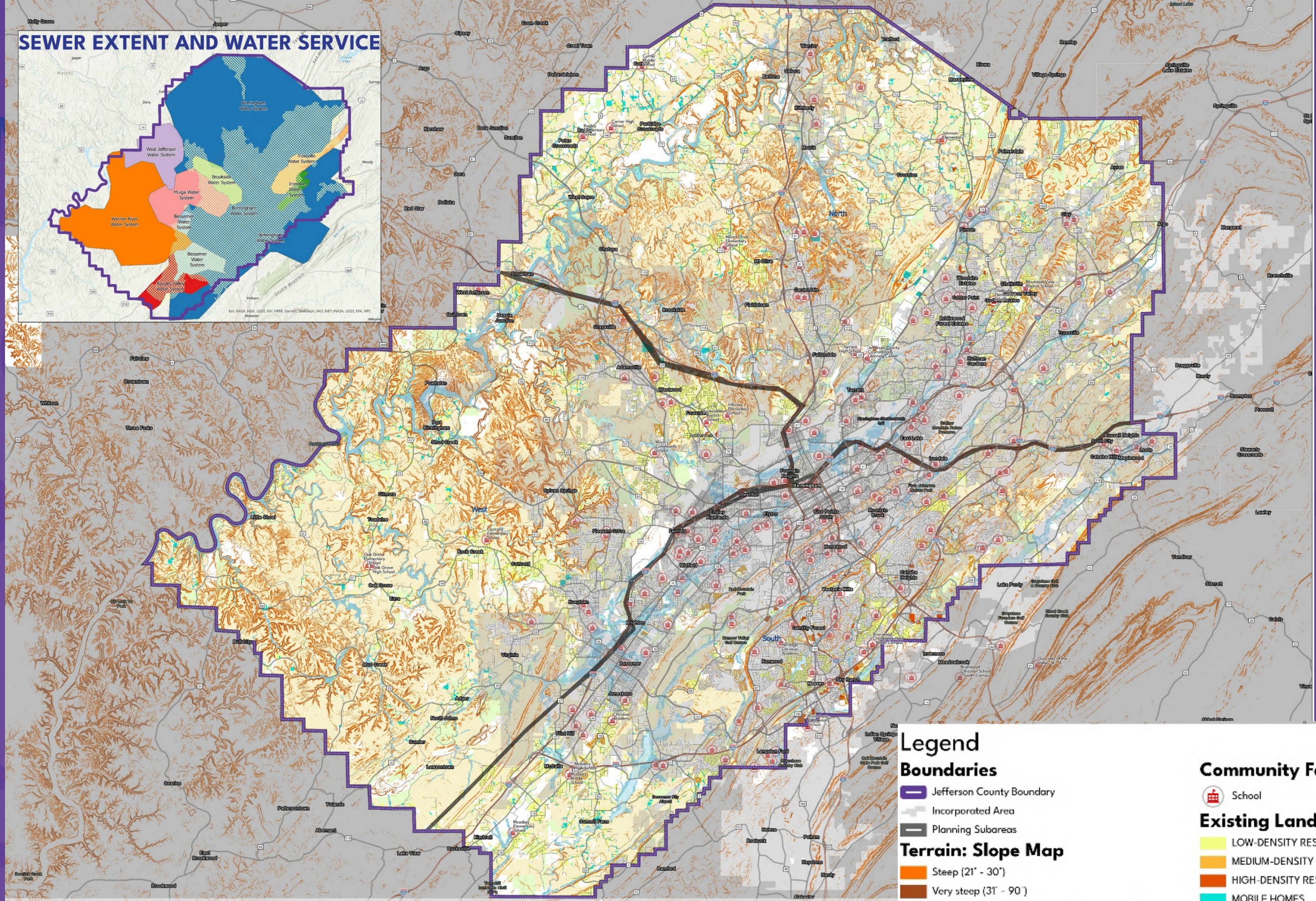
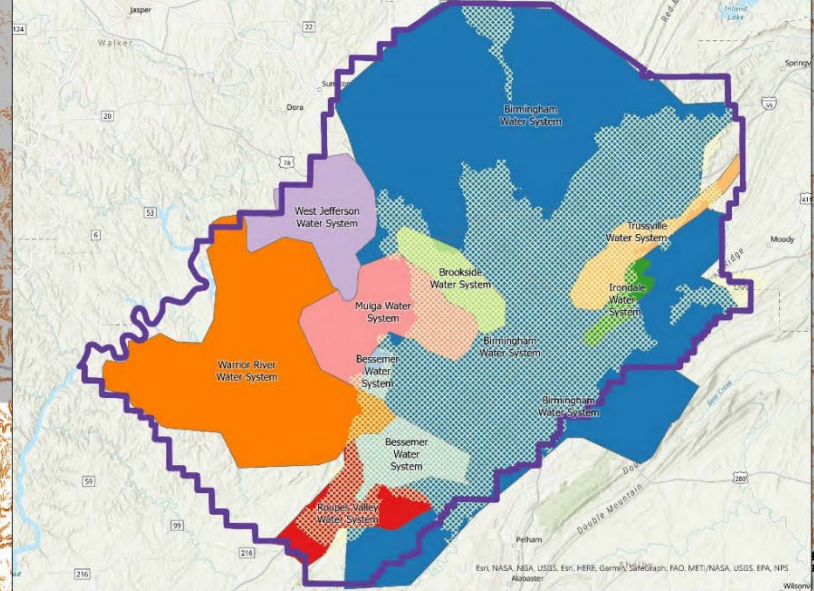


- Land Use**
- VACANT OR UNDEVELOPED
 - AGRICULTURE AND RELATED
 - LOW-DENSITY RESIDENTIAL
 - MEDIUM-DENSITY RESIDENTIAL
 - HIGH-DENSITY RESIDENTIAL
 - MOBILE HOMES
 - INSTITUTIONAL
 - CULTURAL AND RECREATION
 - OFFICE
 - LIGHT COMMERCIAL
 - GENERAL COMMERCIAL
 - HEAVY COMMERCIAL
 - LIGHT INDUSTRY
 - GENERAL INDUSTRY
 - HEAVY INDUSTRY
 - UTILITY
 - NON-CLASSIFIABLE S.I.C. CODES

EXISTING LAND USE



SEWER EXTENT AND WATER SERVICE



Legend

Boundaries

- Jefferson County Boundary
- Incorporated Area
- Planning Subareas

Terrain: Slope Map

- Steep (21' - 30')
- Very steep (31' - 90')

FEMA Special Flood Hazard Areas

- 100 Year Flood Hazard
- 500 Year Flood Hazard
- Floodway

Community Facilities

- School

Existing Land Uses

- LOW-DENSITY RESIDENTIAL
- MEDIUM-DENSITY RESIDENTIAL
- HIGH-DENSITY RESIDENTIAL
- MOBILE HOMES
- Vacant/Undeveloped (with Existing Structure)
- Vacant/Undeveloped (No Structures)

HOUSING

0 0.5 1.5

PLACETYPES



Natural Areas



Rural/Agricultural



Suburban Neighborhood



Industrial/Employment Center



Estate Residential



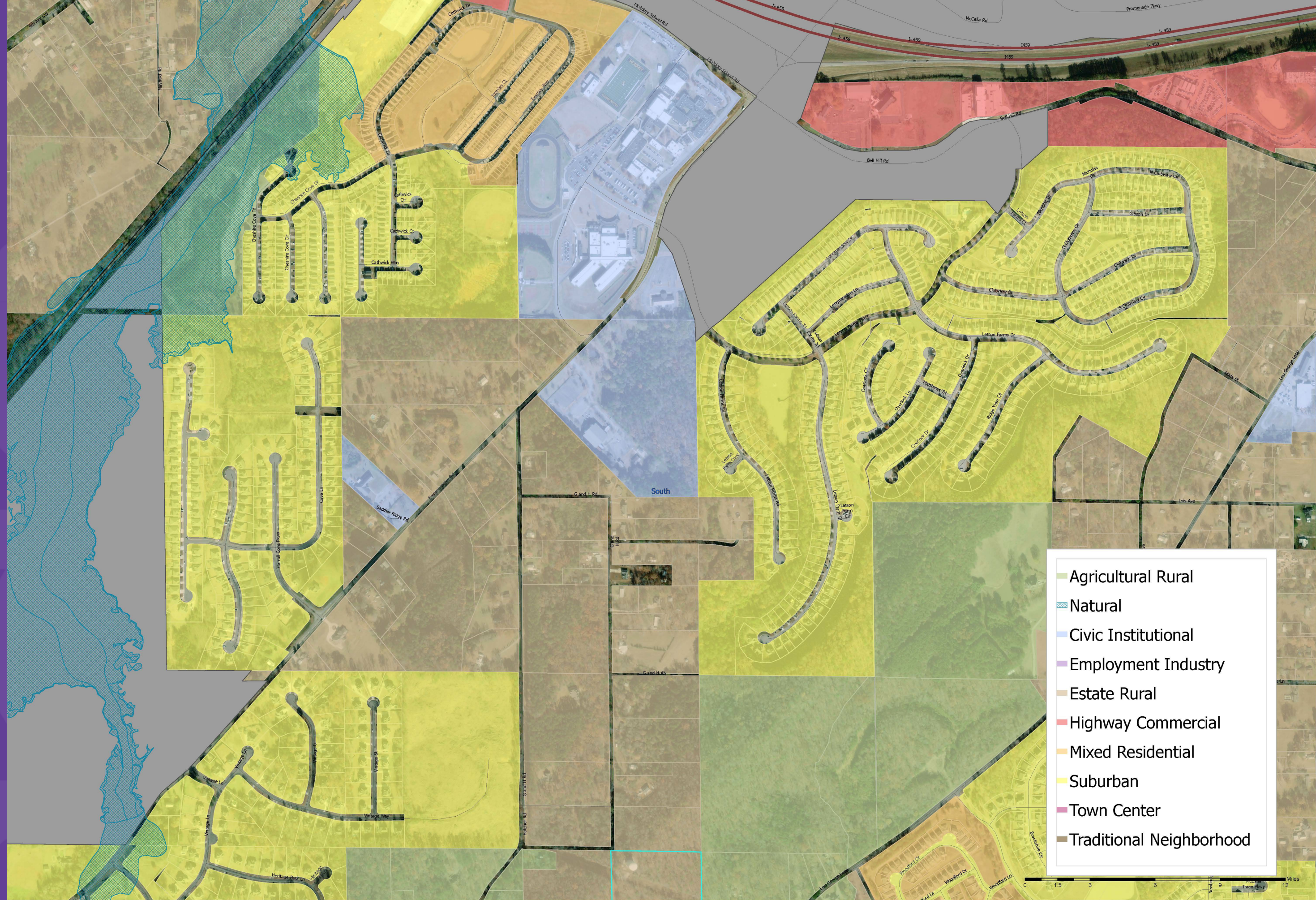
Mixed Residential Neighborhood



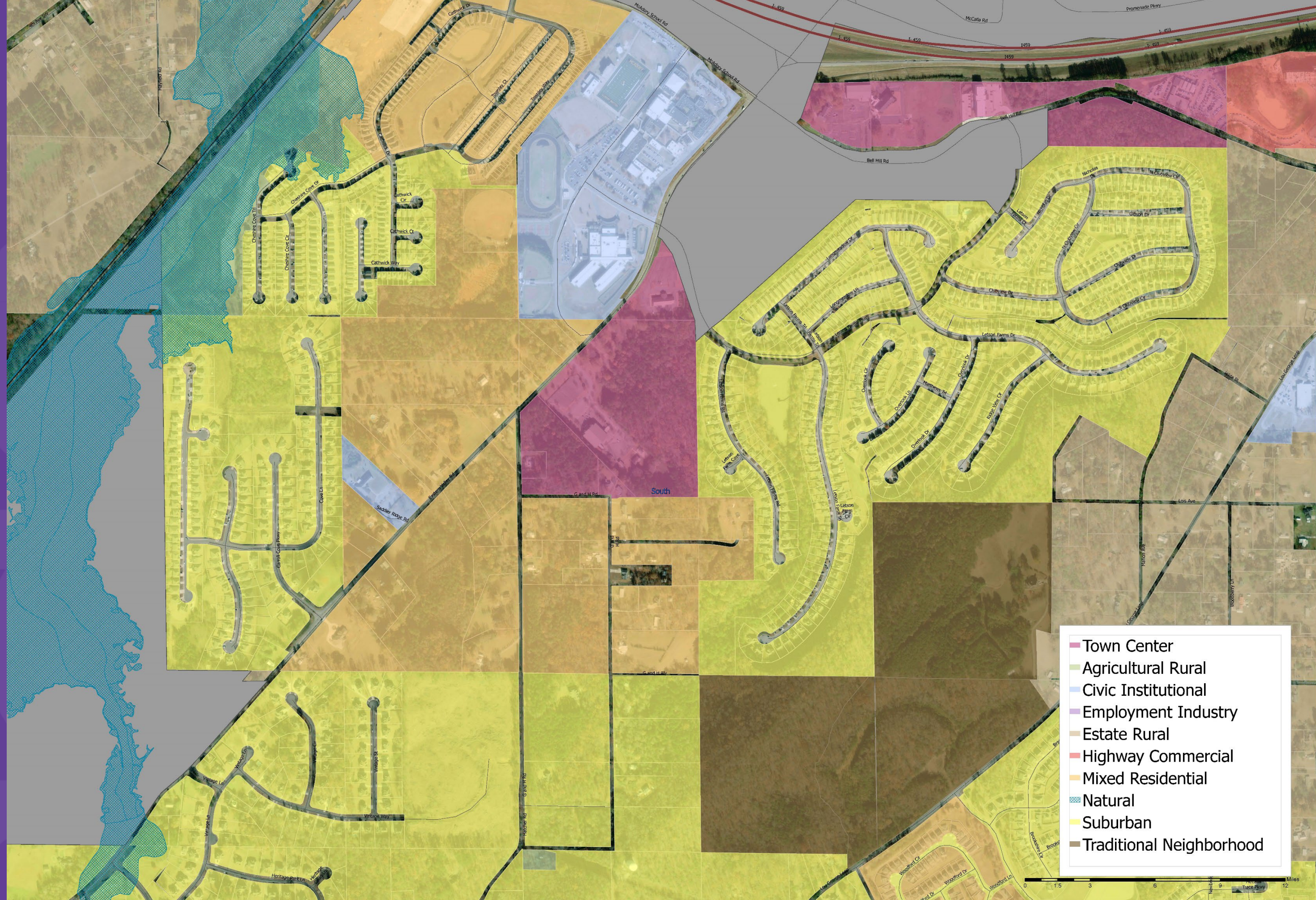
Town/Neighborhood Center



Highway Corridor



FUTURE LAND USE - CONVENTIONAL SCENARIO



FUTURE LAND USE - FOCUSED SCENARIO

MCCALLA AREA



McCALLA AREA Planning Concepts

- Maintain unique character
- Create a "Center"
- Create nature parks
- Add sidewalks, trails
- Utilize existing shopping centers and fill vacancies
- Create neighborhood parks with play areas and dog parks
- Preserve farmland



COMPREHENSIVE PLANNING

VILLAGE SQUARE: McCALLA AREA

- Find opportunities to create a "Center"
- Include modest shops and open space for entertainment and gathering
- Enhance community identity with vernacular rural architecture and green space



AN

EASTERN VALLEY IMAGE CORRIDOR: McCALLA AREA

- Maintain and enhance scenic, rural character along Eastern Valley Road
- Emphasize corridor as the gateway to Tannehill Historic Site
- Preserve vernacular architecture
- Include new trails
- Preserve and enhance tree canopies
- Limit new development densities
- Enhance streetscape near I-459 to announce gateway entrance to the scenic corridor



COMPRE

Commercial Corridor Retrofit



FORRESTDALE CORRIDOR



FORESTDALE CORRIDOR Retrofit Concepts

- Keep "Forest" in Forestdale
- Revamp Hwy 78
- New Parks
- Walking trails
- Sidewalks
- Greenway
- Entertainment
- Family Restaurants
- Incubator Shops
- Grocery store
- Mixed Use
- New Housing
- Quiet neighborhoods



FORESTDALE CORRIDOR

1"=200'

“MAIN STREET” FORESTDALE

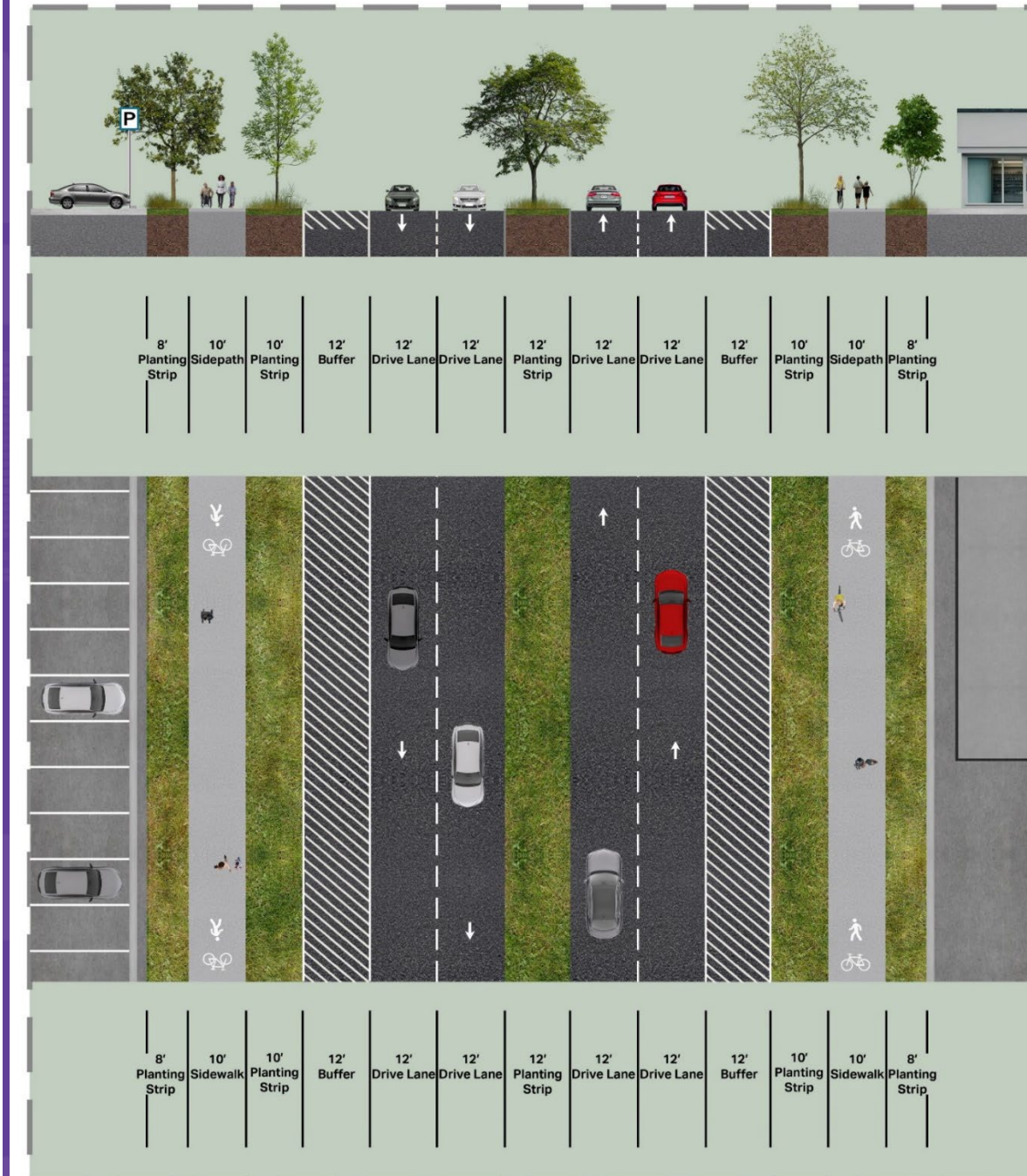
- Enhance Highway 78
- Add Street trees and buffers at parking lots
- Create a landscape median
- Add sidewalks
- Add pedestrian lighting



Forestdale Boulevard EX



Forestdale Boulevard PR



TOWN SQUARE: FORESTDALE

- Create a Town Square or central place for community gathering
- Create a Town Park adjacent to shops with places for celebration
- Convert mall to incubator food court
- Chattahoochee Food Works, Atlanta



FORESTDALE NEIGHBORHOODS

- Protect existing neighborhoods
- Retain neighborhood character



- Create new housing
- Transit access feasibility
- Link to existing neighborhoods
- Link to greenways and parks

FORESTDALE CORRIDOR

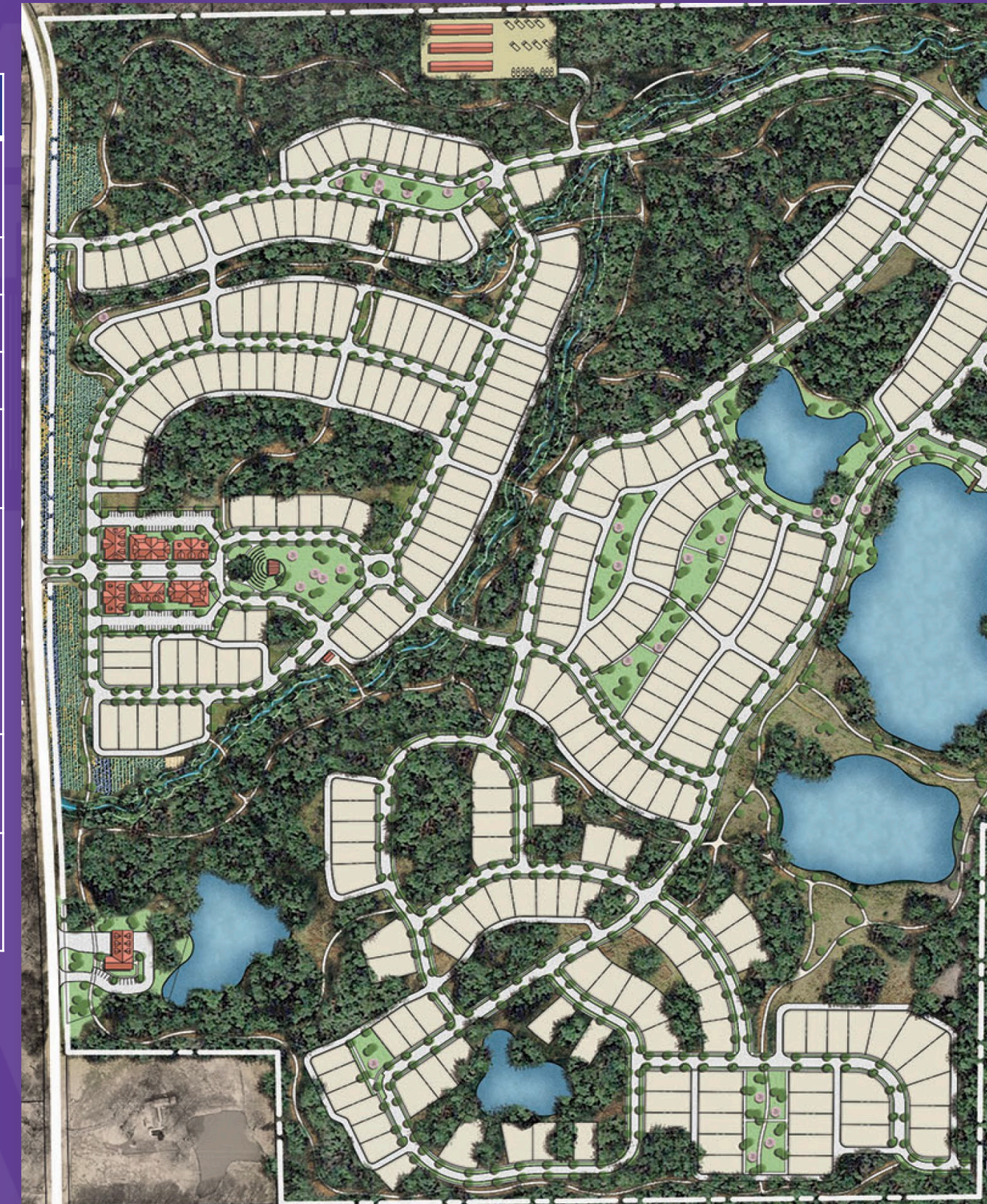


Traditional Neighborhood Development

Conventional Development



Traditional Neighborhood Development



Comparison of Development Design		
Metric	Conventional	Traditional Neighborhood
Acres	230	230
Units	150	330
Density	.75	1.4
Open Space	10%	45%
Site Use	Residential only	Residential, Neighborhood market, Housing options
Site Ecology	Severely Impacted	Vital functions preserved
Comm. Economics	-	+



LET'S GET ENGAGED!

JEFFERSON COUNTY

FORWARD TOGETHER COMPREHENSIVE PLAN

